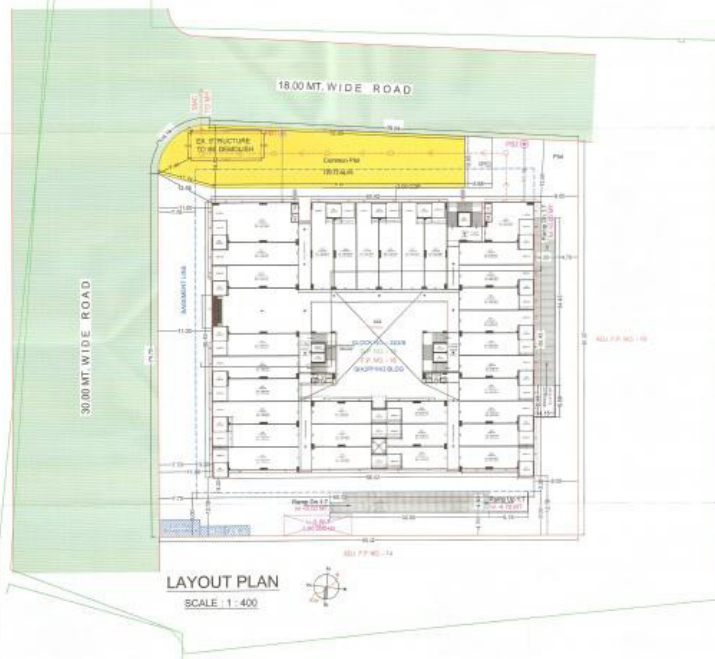


KEY PLAN  
(AS PER T.R. T.P.S.)  
SCALE : 1 : 2000KEY PLAN  
(AS PER DRAFT T.P.S.)  
SCALE : 1 : 2000

## SANITARY REQUIREMENT CALCULATIONS:

PROF. F.S.I.  
= 7.594.28 cum  
NO. OF USERS  
= 2.542.815  
= 1.26186 SAY 1,517 PERSONS  
FOR 1ST 180 PERSONS, 4 W.C. & 4 URINALS REQ.  
FOR NEXT 1337 PERSONS, 16 W.C. & 16 URINALS REQ.  
FOR BALANCED 11 PERSONS, 10 W.C. & 10 URINALS REQ.  
HENCE, TOTAL REQ. 24 W.C. & 24 URINALS  
TOTAL PROP. NO. OF W.C.  
= 4 NO. & 4 FLOORS = 24 NO. & 4  
TOTAL PROP. NO. OF URINALS  
= 4 NO. & 4 FLOORS = 24 NO. & 4

LAYOUT PLAN  
SCALE : 1 : 400KEY PLAN  
(AS PER D.P.)  
SCALE : 1 : 2000

## Building USE/USE Details

| Building Name | Building Use | Building Sub-Use | Building Location |
|---------------|--------------|------------------|-------------------|
| SHOPPING BLDG | Commercial   | Shopping Centre  | Location          |

## Common Plot Area

| Name        | Plot Area |
|-------------|-----------|
| Common Plot | 758.72    |

## Buildings Floor FSI Details

| Floor Name           | Building Name | Proposed FSI | Proposed FSI Area | Proposed FSI Area (Sq. M.) | Total FSI Area (Sq. M.) |
|----------------------|---------------|--------------|-------------------|----------------------------|-------------------------|
| Lower Basement Floor | SHOPPING BLDG | 0.00         | 0.00              | 0.00                       | 0.00                    |
| Upper Basement Floor | SHOPPING BLDG | 0.00         | 0.00              | 0.00                       | 0.00                    |
| Ground Floor         | SHOPPING BLDG | 2.5428       | 2.5428            | 2.5428                     | 2.5428                  |
| First Floor          | SHOPPING BLDG | 2.5428       | 2.5428            | 2.5428                     | 2.5428                  |
| Second Floor         | SHOPPING BLDG | 2.5428       | 2.5428            | 2.5428                     | 2.5428                  |
| Third Floor          | SHOPPING BLDG | 2.5428       | 2.5428            | 2.5428                     | 2.5428                  |
| Total                | SHOPPING BLDG | 10.1712      | 10.1712           | 10.1712                    | 10.1712                 |

## FSI &amp; Tenement Details

| Building      | No. of Bldg | Plot Area (Sq. M.) | Proposed FSI | Proposed FSI Area (Sq. M.) | Total FSI Area (Sq. M.) |
|---------------|-------------|--------------------|--------------|----------------------------|-------------------------|
| SHOPPING BLDG | 1           | 2087.05            | 17.9837      | 17.9837                    | 17.9837                 |
| Total         | 1           | 2087.05            | 17.9837      | 17.9837                    | 17.9837                 |

| AREA DETAILS                       | Sq.Mts  |  |  |
|------------------------------------|---------|--|--|
| 1. Area of Plot As per record      | -       |  |  |
| (1) FSI                            | 1798.00 |  |  |
| (2) House Form                     | 1798.00 |  |  |
| (3) F Form                         | 1798.00 |  |  |
| (4) As per site condition          | 1798.73 |  |  |
| Area of Plot Considered            | 1798.00 |  |  |
| 2. Deduction for (a) Proposed road | 0.00    |  |  |
| (b) Utility operations             | 0.00    |  |  |
| Total = 0                          | 0.00    |  |  |
| 3. Net Area of plot (1 - 2)        | 1798.00 |  |  |
| 4. Area of Plot                    | 1798.00 |  |  |
| 5. Common Plot                     | 758.72  |  |  |
| 6. Common Plot                     | 758.72  |  |  |
| 7. Common Plot                     | 758.72  |  |  |
| 8. Common Plot                     | 758.72  |  |  |
| 9. Common Plot                     | 758.72  |  |  |
| 10. Common Plot                    | 758.72  |  |  |
| 11. Common Plot                    | 758.72  |  |  |
| 12. Common Plot                    | 758.72  |  |  |
| 13. Common Plot                    | 758.72  |  |  |
| 14. Common Plot                    | 758.72  |  |  |
| 15. Common Plot                    | 758.72  |  |  |
| 16. Common Plot                    | 758.72  |  |  |
| 17. Common Plot                    | 758.72  |  |  |
| 18. Common Plot                    | 758.72  |  |  |
| 19. Common Plot                    | 758.72  |  |  |
| 20. Common Plot                    | 758.72  |  |  |
| 21. Common Plot                    | 758.72  |  |  |
| 22. Common Plot                    | 758.72  |  |  |
| 23. Common Plot                    | 758.72  |  |  |
| 24. Common Plot                    | 758.72  |  |  |
| 25. Common Plot                    | 758.72  |  |  |
| 26. Common Plot                    | 758.72  |  |  |
| 27. Common Plot                    | 758.72  |  |  |
| 28. Common Plot                    | 758.72  |  |  |
| 29. Common Plot                    | 758.72  |  |  |
| 30. Common Plot                    | 758.72  |  |  |
| 31. Common Plot                    | 758.72  |  |  |
| 32. Common Plot                    | 758.72  |  |  |
| 33. Common Plot                    | 758.72  |  |  |
| 34. Common Plot                    | 758.72  |  |  |
| 35. Common Plot                    | 758.72  |  |  |
| 36. Common Plot                    | 758.72  |  |  |
| 37. Common Plot                    | 758.72  |  |  |
| 38. Common Plot                    | 758.72  |  |  |
| 39. Common Plot                    | 758.72  |  |  |
| 40. Common Plot                    | 758.72  |  |  |
| 41. Common Plot                    | 758.72  |  |  |
| 42. Common Plot                    | 758.72  |  |  |
| 43. Common Plot                    | 758.72  |  |  |
| 44. Common Plot                    | 758.72  |  |  |
| 45. Common Plot                    | 758.72  |  |  |
| 46. Common Plot                    | 758.72  |  |  |
| 47. Common Plot                    | 758.72  |  |  |
| 48. Common Plot                    | 758.72  |  |  |
| 49. Common Plot                    | 758.72  |  |  |
| 50. Common Plot                    | 758.72  |  |  |
| 51. Common Plot                    | 758.72  |  |  |
| 52. Common Plot                    | 758.72  |  |  |
| 53. Common Plot                    | 758.72  |  |  |
| 54. Common Plot                    | 758.72  |  |  |
| 55. Common Plot                    | 758.72  |  |  |
| 56. Common Plot                    | 758.72  |  |  |
| 57. Common Plot                    | 758.72  |  |  |
| 58. Common Plot                    | 758.72  |  |  |
| 59. Common Plot                    | 758.72  |  |  |
| 60. Common Plot                    | 758.72  |  |  |
| 61. Common Plot                    | 758.72  |  |  |
| 62. Common Plot                    | 758.72  |  |  |
| 63. Common Plot                    | 758.72  |  |  |
| 64. Common Plot                    | 758.72  |  |  |
| 65. Common Plot                    | 758.72  |  |  |
| 66. Common Plot                    | 758.72  |  |  |
| 67. Common Plot                    | 758.72  |  |  |
| 68. Common Plot                    | 758.72  |  |  |
| 69. Common Plot                    | 758.72  |  |  |
| 70. Common Plot                    | 758.72  |  |  |
| 71. Common Plot                    | 758.72  |  |  |
| 72. Common Plot                    | 758.72  |  |  |
| 73. Common Plot                    | 758.72  |  |  |
| 74. Common Plot                    | 758.72  |  |  |
| 75. Common Plot                    | 758.72  |  |  |
| 76. Common Plot                    | 758.72  |  |  |
| 77. Common Plot                    | 758.72  |  |  |
| 78. Common Plot                    | 758.72  |  |  |
| 79. Common Plot                    | 758.72  |  |  |
| 80. Common Plot                    | 758.72  |  |  |
| 81. Common Plot                    | 758.72  |  |  |
| 82. Common Plot                    | 758.72  |  |  |
| 83. Common Plot                    | 758.72  |  |  |
| 84. Common Plot                    | 758.72  |  |  |
| 85. Common Plot                    | 758.72  |  |  |
| 86. Common Plot                    | 758.72  |  |  |
| 87. Common Plot                    | 758.72  |  |  |
| 88. Common Plot                    | 758.72  |  |  |
| 89. Common Plot                    | 758.72  |  |  |
| 90. Common Plot                    | 758.72  |  |  |
| 91. Common Plot                    | 758.72  |  |  |
| 92. Common Plot                    | 758.72  |  |  |
| 93. Common Plot                    | 758.72  |  |  |
| 94. Common Plot                    | 758.72  |  |  |
| 95. Common Plot                    | 758.72  |  |  |
| 96. Common Plot                    | 758.72  |  |  |
| 97. Common Plot                    | 758.72  |  |  |
| 98. Common Plot                    | 758.72  |  |  |
| 99. Common Plot                    | 758.72  |  |  |
| 100. Common Plot                   | 758.72  |  |  |

| Color        | Code |
|--------------|------|
| Red          | 1    |
| Green        | 2    |
| Blue         | 3    |
| Yellow       | 4    |
| Black        | 5    |
| White        | 6    |
| Grey         | 7    |
| Light Blue   | 8    |
| Light Green  | 9    |
| Light Yellow | 10   |
| Light Grey   | 11   |
| Light Black  | 12   |
| Light White  | 13   |
| Light Red    | 14   |
| Light Green  | 15   |
| Light Blue   | 16   |
| Light Yellow | 17   |
| Light Grey   | 18   |
| Light Black  | 19   |
| Light White  | 20   |
| Light Red    | 21   |
| Light Green  | 22   |
| Light Blue   | 23   |
| Light Yellow | 24   |
| Light Grey   | 25   |
| Light Black  | 26   |
| Light White  | 27   |
| Light Red    | 28   |
| Light Green  | 29   |
| Light Blue   | 30   |
| Light Yellow | 31   |
| Light Grey   | 32   |
| Light Black  | 33   |
| Light White  | 34   |
| Light Red    | 35   |
| Light Green  | 36   |
| Light Blue   | 37   |
| Light Yellow | 38   |
| Light Grey   | 39   |
| Light Black  | 40   |
| Light White  | 41   |
| Light Red    | 42   |
| Light Green  | 43   |
| Light Blue   | 44   |
| Light Yellow | 45   |
| Light Grey   | 46   |
| Light Black  | 47   |
| Light White  | 48   |
| Light Red    | 49   |
| Light Green  | 50   |
| Light Blue   | 51   |
| Light Yellow | 52   |
| Light Grey   | 53   |
| Light Black  | 54   |
| Light White  | 55   |
| Light Red    | 56   |
| Light Green  | 57   |
| Light Blue   | 58   |
| Light Yellow | 59   |
| Light Grey   | 60   |
| Light Black  | 61   |
| Light White  | 62   |
| Light Red    | 63   |
| Light Green  | 64   |
| Light Blue   | 65   |
| Light Yellow | 66   |
| Light Grey   | 67   |
| Light Black  | 68   |
| Light White  | 69   |
| Light Red    | 70   |
| Light Green  | 71   |
| Light Blue   | 72   |
| Light Yellow | 73   |
| Light Grey   | 74   |
| Light Black  | 75   |
| Light White  | 76   |
| Light Red    | 77   |
| Light Green  | 78   |
| Light Blue   | 79   |
| Light Yellow | 80   |
| Light Grey   | 81   |
| Light Black  | 82   |
| Light White  | 83   |
| Light Red    | 84   |
| Light Green  | 85   |
| Light Blue   | 86   |
| Light Yellow | 87   |
| Light Grey   | 88   |
| Light Black  | 89   |
| Light White  | 90   |
| Light Red    | 91   |
| Light Green  | 92   |
| Light Blue   | 93   |
| Light Yellow | 94   |
| Light Grey   | 95   |
| Light Black  | 96   |
| Light White  | 97   |
| Light Red    | 98   |
| Light Green  | 99   |
| Light Blue   | 100  |

## OWNER'S NAME AND SIGNATURE:

KALPESHKUMAR INDRAVADAN BHATT AS  
POWER ATTORNEY HOLDER OF NAYABEN  
CHANDRVADAN AND OTHERS

28/08/2024 25-08-2024

## ARCHITECT'S NAME AND SIGNATURE:

KHALESHA BHAVANSHU VAGHANI  
License No. (DRAKAR-107)

**REQ. NOS. OF 6 PASSENGER LIFTS**  
 =  $3452.22 \times 7 / 1000$   
 = 24.16 SAY 25.00  
 = 25.00 X 6 PASSENGERS.  
 = 150.00 SAY 150 PASSENGERS.  
**PROPOSED NOS OF LIFT**  
 (1) 05 LIFTS OF 12 PASSENGERS  
     i.e.  $05 \times 12 = 60$  PASSENGERS.  
 (2) 19 LIFTS OF 20 PASSENGERS  
     i.e.  $19 \times 20 = 380$  PASSENGERS.  
**TOTAL CAPACITY = 60 + 380**  
                             = 440 PASSENGERS.

**SECTION AT A - A**

**PLAN ( PERCOLATING WELL )**

| FP NO. | TOTAL PLOT AREA SQ.MT. | ROAD ALIGNMENT AREA SQ.MT. | NET PLOT AREA SQ.MT. |
|--------|------------------------|----------------------------|----------------------|
| 15     | 7163.00                | 0.00                       | 7163.00              |

(REQUIRE PERCOLATING WELL = 1 percolating well / 4,000.0 SQ.MT.  
 = 7163.00 / 4,000.0 SQ.MT.  
 = 1.79 NOS.  
 SAY 2 NO.

PROPOSED NOS. = 2 NO.

| SR. NO. | ITEM                                         | CLAUSE NO.         | PERM. AS PER GDCR                                                                                                                     | PROPOSED                                                                                                                                         | RELAXATION REQUESTED                                                                                                                               |
|---------|----------------------------------------------|--------------------|---------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.      | GROUND COVERAGE                              | 12.4.1(a)(ii)      | 30% (2,148.90 sq.mt)                                                                                                                  | 48.38 % (3,465.72 sq.mt)                                                                                                                         | 18.38 % (1,316.82 sq.mt)                                                                                                                           |
| 2.      | F.S.I.                                       | 12.3.1             | 1.8 + 25 % PAID F.S.I.,(2.25) (16,116.75 sq.mt)                                                                                       | 3.997 (28,632.69 sq. mt.)                                                                                                                        | 1.747 (12,515.94 sq.mt)                                                                                                                            |
| 3.      | MARGIN FROM BLDG                             |                    |                                                                                                                                       |                                                                                                                                                  |                                                                                                                                                    |
| (a)     | ROAD SIDE MARGIN                             | 12.4.1(A)(iv)      | 0.3 H = 53.45 X 0.3 = 16.04 MT.                                                                                                       | 11.00 MT. = 0.21 H                                                                                                                               | 5.04 MT. = 0.09 H                                                                                                                                  |
| (b)     | OTHER SIDE MARGIN                            | 12.4.1(A)(iv)      | 0.2 H = 53.45 X 0.2 = 10.69 MT.                                                                                                       | 9.00 MT. = 0.168 H                                                                                                                               | 1.69 MT. = 0.032 H                                                                                                                                 |
| 4.      | MARGIN FROM BASEMENT                         |                    |                                                                                                                                       |                                                                                                                                                  |                                                                                                                                                    |
| (a)     | ROAD SIDE MARGIN                             | 12.4.1(A)(iv)      | 0.3 H = 53.45 X 0.3 = 16.04 MT.                                                                                                       | 3.00 MT. = 0.056 H                                                                                                                               | 13.04 MT. = 0.244 H                                                                                                                                |
| (b)     | OTHER SIDE MARGIN                            | 12.4.1(A)(iv)      | 0.2 H = 53.45 X 0.2 = 10.69 MT.                                                                                                       | 9.00 MT. = 0.168 H                                                                                                                               | 1.69 MT. = 0.032 H                                                                                                                                 |
| 5.      | BUILDING HEIGHT                              | 2.9 (k)            | 40.0 MT.                                                                                                                              | 53.45                                                                                                                                            | 13.45 MT.                                                                                                                                          |
| 6.      | VISITOR'S PARKING                            | 18.1, NOTE NO. - 7 | 2,863.27 SQ.MT. REQ. @ G.L.                                                                                                           | 459.21 SQ.MT. PROP. @ G.L.                                                                                                                       | 2,929.56 SQ.MT. PROP. @ UPPER BASEMENT                                                                                                             |
| 7.      | BASEMENT AREA                                | 16.5 (i)           | = 2 X PERMI. BUILT UP AREA<br>= 2 X 2,148.90 = 4,297.80 SQ.MT.                                                                        | = 5,140.22 SQ.MT.                                                                                                                                | = 842.42 SQ.MT.                                                                                                                                    |
| 8.      | BASEMENT FLOOR HEIGHT FOR DEDUCTION FROM FSI | 2.42 (iv)          | MAX. 2.60 MT. FROM BEAM BOTTOM TO FINISHED FLOOR LVL.                                                                                 | MAX. 4.70 MT. FROM BEAM BOTTOM TO FINISHED FLOOR LVL.                                                                                            | 2.10 MT.                                                                                                                                           |
| 9.      | LIFT                                         | 16.1.A (ii)        | 25 NOS. Of 6 Passenger Capacity<br>(Total Passenger Capacity = 186 Nos.                                                               | 24 NOS. (5 Lift of 12 Passenger<br>19 Lift of 20 Passenger)<br>(5 X 12 + 19 X 20 = 440 Passenger)                                                | 1 NOS. LESS NUMBER WISE                                                                                                                            |
| 10.     | PARKING                                      | 18.1, NOTE: (1)    | PARKING IS NOT PERMITTED IN MARGINAL SPACE.                                                                                           | MARGIN BETWEEN PLOT BOUNDARY AND BUILDING IS SHOWN AS 11.00 MT. IN THIS MARGIN AFTER LEAVING 9.00 MT. MARGINAL SPACE, PARKING HAS BEEN PROPOSED. | 2.00 MT.                                                                                                                                           |
| 11.     | MECHANICAL PARKING                           | -----              | -----                                                                                                                                 | MECHANICAL PARKING (9637.66 SQ.MT.) IS SHOWN IN UPPER BASEMENT.                                                                                  | MECHANICAL PARKING IS COUNTED 2 TIMES FOR THE PARKING AREA CALCULATION AS IN SUCH PARKING CARS ARE PARKED IN STACK. (4818.83 X 2 = 9637.66 SQ.MT.) |
| 12.     | ARCHITECTURAL PROJECTION                     | 12.4 (1) (D) (d)   | 0.80 MT.                                                                                                                              | 0.90 MT.                                                                                                                                         | 0.30 MT.                                                                                                                                           |
| 13.     | RAMP                                         | 16.13 (3)          | RAMP IS PERMITTED IN THE SIDE AND REAR MARGINAL OPEN SPACE, AFTER LEAVING SUFFICIENT SPACE FOR MOVEMENT FOR FIRE FIGHTING EQUIPMENTS. | 4.70 MT.                                                                                                                                         | 4.70 MT.                                                                                                                                           |

| ITEM                          | PERMI. / REQUIRED AS PER GDCR          |                                        | PERMI. / REQUIRED UNDER CLAUSE - 29 (i) OF T.P. ACT | PROP. UNDER CLAUSE - 29 (i) OF T.P. ACT |
|-------------------------------|----------------------------------------|----------------------------------------|-----------------------------------------------------|-----------------------------------------|
|                               | AS PER F.S.I. - 1.80                   | AS PER F.S.I. - 2.25                   | AS PER F.S.I. - 4.0                                 | AS PER F.S.I. - 4.0                     |
| MAXI. BUILT UP AREA IN SQ.MT. | @ 30 % = 2148.90                       | @ 30 % = 2148.90                       | As Per Govt. Decision                               | 3,465.72 (48.38 %)                      |
| F.S.I. IN SQ.MT.              | 12,893.40                              | 16,116.75                              | 28,652.00                                           | 28,632.69                               |
| BUILDING HEIGHT IN MT.        | 40.0                                   | 40.0                                   | 70.0                                                | 53.45                                   |
| VISITORS PARKING IN SQ.MT.    | @ 20 % OF 30 %<br>OF F.S.I. = 773.60   | @ 20 % OF 30 %<br>OF F.S.I. = 967.00   | @ 20 % OF 50 %<br>OF PRO. F.S.I. = 2,863.27         | 3,388.77                                |
| OTHERS PARKING IN SQ.MT.      | @ 80 % OF 30 %<br>OF F.S.I. = 3,094.42 | @ 80 % OF 30 %<br>OF F.S.I. = 3,868.02 | @ 80 % OF 50 %<br>OF F.S.I. = 11,453.08             | 11,527.15                               |

| FLOOR          | B. A. (SQ.MT.) | F.S.I. (SQ.MT.) |
|----------------|----------------|-----------------|
| LOWER BASEMENT | 5140.22        | -----           |
| UPPER BASEMENT | 5140.22        | -----           |
| GR. FLR        | 3465.72        | 2603.70         |
| UPPER GR. FLR  | 3452.22        | 2892.11         |
| 1ST FLR        | 3452.22        | 2892.11         |
| 2ND FLR        | 3452.22        | 2892.11         |
| 3RD FLR        | 3452.22        | 2892.11         |
| 4TH FLR        | 3452.22        | 2892.11         |
| 5TH FLR        | 3452.22        | 2892.11         |
| 6TH FLR        | 3452.22        | 2892.11         |
| 7TH FLR        | 3452.22        | 2892.11         |
| 8TH FLR        | 3452.22        | 2892.11         |
| TERRACE FLR    | 491.53         | -----           |
|                | 45307.67       | 28632.69        |

PROP. F.S.I.  
= 28,632.69 sq.ft.  
NOS OF USERS  
= 28,632.69 / 5  
= 5,726.54 SAY 5,727 PERSONS  
FOR 1ST 100 PERSONS, 4 W.C. & 4 URINALS REQ.  
FOR NEXT 500 PERSONS, 10 W.C. & 10 URINALS REQ.  
FOR BALANCE 5,127 PERSONS, 52 W.C. & 52 URINALS REQ.  
HENCE, TOTAL REQ. 66 W.C. & 66 URINALS  
TOTAL PROP. NOS OF W.C.  
= 7 NOS X 10 FLOORS) = 80 NOS  
TOTAL PROP. NOS OF URINALS  
= 7 NOS X 10 FLOORS) = 80 NOS

|                                             |               |                    |
|---------------------------------------------|---------------|--------------------|
| (1) PLOT AREA                               | AS PER RECORD | = 7,163.00 SQ.MT.  |
|                                             | AS PER SITE   | = 7,163.00 SQ.MT.  |
| (2) ANY RESERVATION OR ROAD ALIGNMENT       |               | = NIL              |
| (3) NET AREA OF THE PLOT (1-2)              |               | = 7,163.00 SQ.MT.  |
| (4) REQUIRED AREA OF C. P. @ 10%            |               | = 716.30 SQ.MT.    |
| (5) PROPOSED AREA OF C. P.                  |               | = 716.52 SQ.MT.    |
| (6) BALANCE AREA OF PLOT (3-4)              |               | = 6,446.70 SQ.MT.  |
| (7) PERMI. BUILT UP AREA @ 30 %             |               | = 2,148.90 SQ.MT.  |
| (8) PROPOSED BUILT UP AREA                  |               | = 3,465.72 SQ.MT.  |
| (9) PERMISSIBLE F.S.I. @ 1.80               |               | = 12,893.40 SQ.MT. |
| (10) PERMISSIBLE F.S.I. @ 2.25              |               | = 16,116.75 SQ.MT. |
| (11) PERMISSIBLE F.S.I. @ 4.00              |               | = 28,652.00 SQ.MT. |
| (12) PROPOSED F.S.I. AREA                   |               | = 28,632.69 SQ.MT. |
| (13) PAID F.S.I. AREA @ 28,632.69           |               | = 15,739.29 SQ.MT. |
| (14) F.S.I. CONSUMED @ 28,632.69 / 7,163.00 |               | = 3.99             |

PROPOSED SITE

**KEY PLAN**  
**(AS PER T.R. T.P.S.)**

SCALE : 1 : 2000



| PARKING AT          | OCCUPIERS PARKING (sq.ft.) |               | VISITORS PARKING (sq.ft.) |               |
|---------------------|----------------------------|---------------|---------------------------|---------------|
|                     | CAR PARKING                | OTHER PARKING | CAR PARKING               | OTHER PARKING |
| GROUND LVL.         | 0.00                       | 0.00          | 367.09                    | 92.12         |
| UPPER BASEMENT LVL. | 5731.04                    | 977.06        | 1496.02                   | 1433.54       |
| LOWER BASEMENT LVL. | 0.00                       | 4819.05       | 0.00                      | 0.00          |
| SUB TOTAL           | 5731.04                    | 5796.11       | 1863.11                   | 1525.66       |
| TOTAL               | 11527.15                   |               | 3388.77                   |               |
| TOTAL               |                            |               | 14915.92                  |               |

|                                  |                                           |             |                                                                                                                                                                                                                                                              |  |                                |
|----------------------------------|-------------------------------------------|-------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------|
| AREA STATEMENT                   |                                           | SQ.MTS.     | I.                                                                                                                                                                                                                                                           |  | NO. OF COPIES                  |
| 1.                               | AREA OF PLOT                              |             | LIST OF DRAWINGS ATTACHED                                                                                                                                                                                                                                    |  | 12                             |
|                                  | (a) AS PER RECORD                         | 7163.00     | (1) LAYOUT PLAN, KEY PLAN                                                                                                                                                                                                                                    |  |                                |
|                                  | (b) AS PER SITE CONDITION                 | 7163.00     | (2) LOWER BASEMENT PLAN                                                                                                                                                                                                                                      |  |                                |
| 2.                               | DEDUCTION FOR                             |             | (3) UPPER BASEMENT PLAN                                                                                                                                                                                                                                      |  |                                |
|                                  | (a) PROPOSED ROADS                        | NIL         | (4) GROUND FLOOR PLAN                                                                                                                                                                                                                                        |  |                                |
|                                  | (b) ALL RESERVATIONS                      | NIL         | (5) TYPICAL FLOOR PLAN (UPPER GR. TO 8TH FLOOR)                                                                                                                                                                                                              |  |                                |
|                                  | TOTAL (a+b)                               | NIL         | (6) TERRACE PLAN                                                                                                                                                                                                                                             |  |                                |
| 3.                               | NET AREA OF PLOT                          | 7163.00     | (7) ELEVATION                                                                                                                                                                                                                                                |  |                                |
| 4.                               | COMMON PLOT @ 10% X 7163.00 = 716.30      | 716.52      | (8) SECTION                                                                                                                                                                                                                                                  |  |                                |
| 5.                               | PERMISSIBLE F.S.I. @ 2.25                 | 16,116.75   | (9) CALCULATIONS                                                                                                                                                                                                                                             |  |                                |
| 6.                               | TOTAL BUILT UP PERMISSIBLE AT:            |             | (10) GROUND FLOOR PARKING PLAN                                                                                                                                                                                                                               |  |                                |
|                                  | (a) GROUND FLOOR @ 30 %                   | 2,148.90    | (11) UPPER & LOWER BASEMENT PARKING PLAN                                                                                                                                                                                                                     |  |                                |
|                                  | (b) ALL FLOORS                            | 16,116.75   | (12) SERVICE LINE PLAN                                                                                                                                                                                                                                       |  |                                |
| EXISTING FLOOR AREA AT:          |                                           |             | II. REF. DESCRIPTION OF LAST                                                                                                                                                                                                                                 |  | DATE                           |
| GROUND FLOOR                     |                                           |             | APPROVED PLANS (IF ANY)                                                                                                                                                                                                                                      |  | ----                           |
| FIRST FLOOR                      |                                           |             |                                                                                                                                                                                                                                                              |  |                                |
| SECOND FLOOR                     |                                           |             |                                                                                                                                                                                                                                                              |  |                                |
| REST OF THE FLOORS & TOWER FLOOR |                                           |             |                                                                                                                                                                                                                                                              |  |                                |
|                                  |                                           |             | III.                                                                                                                                                                                                                                                         |  |                                |
| PROPOSED AREA AT:                |                                           |             | DESCRIPTION OF PROPOSED PROPERTY                                                                                                                                                                                                                             |  |                                |
|                                  | BUILT UP                                  | F.S.I.      | PROPOSED LAYOUT PLAN FOR COMMERCIAL HIGHRISE BLDG ON                                                                                                                                                                                                         |  |                                |
|                                  | LOWER BASEMENT                            | 5,140.22    | B. NO. - 223B, O.P. NO. - 15, F.P. NO. - 15, T.P.S. NO. - 35                                                                                                                                                                                                 |  |                                |
|                                  | UPPER BASEMENT                            | 5,140.22    | (KUMBHARIA-SAROLI-SANIA-HEMAD-DEVAOH),                                                                                                                                                                                                                       |  |                                |
|                                  | GR. FLOOR                                 | 3,465.72    | MOJE - KUMBHARIA, TAL- CHORYASI, DIST. - SURAT.                                                                                                                                                                                                              |  |                                |
|                                  | UPPER GR. FLOOR                           | 3,452.22    |                                                                                                                                                                                                                                                              |  |                                |
|                                  | 1ST FLOOR                                 | 3,452.22    |                                                                                                                                                                                                                                                              |  |                                |
|                                  | 2ND FLOOR                                 | 3,452.22    |                                                                                                                                                                                                                                                              |  |                                |
|                                  | 3RD FLOOR                                 | 3,452.22    |                                                                                                                                                                                                                                                              |  |                                |
|                                  | 4TH FLOOR                                 | 3,452.22    |                                                                                                                                                                                                                                                              |  |                                |
|                                  | 5TH FLOOR                                 | 3,452.22    |                                                                                                                                                                                                                                                              |  |                                |
|                                  | 6TH FLOOR                                 | 3,452.22    |                                                                                                                                                                                                                                                              |  |                                |
|                                  | 7TH FLOOR                                 | 3,452.22    |                                                                                                                                                                                                                                                              |  |                                |
|                                  | 8TH FLOOR                                 | 3,452.22    |                                                                                                                                                                                                                                                              |  |                                |
|                                  | TERRACE FLOOR                             | 491.53      |                                                                                                                                                                                                                                                              |  |                                |
|                                  | TOTAL BUILT UP AREA PROP.                 | 45307.67    |                                                                                                                                                                                                                                                              |  |                                |
|                                  | F.S.I. CONSUMED                           | 3.997       |                                                                                                                                                                                                                                                              |  |                                |
| B. BALCONY AREA                  |                                           |             | IV.                                                                                                                                                                                                                                                          |  |                                |
| 1.                               | PERMISSIBLE BALCONY AREA/FLOOR            | ---         | NORTH LINE                                                                                                                                                                                                                                                   |  | SCALE                          |
| 2.                               | PROPOSED BALCONY AREA/FLOOR               | ---         | AS                                                                                                                                                                                                                                                           |  | SHOWN                          |
| 3.                               | EXCESS BALCONY AREA (TOTAL)               | ---         |                                                                                                                                                                                                                                                              |  | IN PLAN                        |
| C. TENEMENT STATEMENT            |                                           |             | V. CERTIFICATE                                                                                                                                                                                                                                               |  |                                |
| 1.                               | AREA FOR TENEMENT                         | ---         | (1) EXISTING STRUCTURE AND ADJOINING PROPERTY IS SEEN BY ME & NECESSARY PRECAUTIONS WILL BE TAKEN FOR SMOOTH WORKING WITHOUT DAMAGE TO EXISTING WORK. MANHOLE CONNECTION IS POSSIBLE & IS VERIFIED BY ME.                                                    |  |                                |
| 2.                               | TENEMENTS PERMISSIBLE AT:                 | ---         | (2) CERTIFIED THAT THE PLOT UNDER REFERENCE WAS SURVEYED BY ME ON DATED - 22/02/2016 AND DIMENSIONS OF SIDES ETC. OF PLOTS STATED ON PLAN ARE AS MEASURED ON SITE AND THE AREA SO WORKED OUT TALLIES WITH THE AREA STATED IN DOCUMENT OF OWNERSHIP/ P.RECORD |  |                                |
|                                  | GROUND FLOOR                              | ---         |                                                                                                                                                                                                                                                              |  |                                |
|                                  | ALL FLOOR                                 | ---         |                                                                                                                                                                                                                                                              |  |                                |
| 3.                               | TENEMENTS EXISTING AT :                   | ---         |                                                                                                                                                                                                                                                              |  |                                |
|                                  | GROUND FLOOR                              | NIL         |                                                                                                                                                                                                                                                              |  |                                |
|                                  | ALL FLOOR                                 | NIL         |                                                                                                                                                                                                                                                              |  |                                |
| 4.                               | TENEMENTS PROPOSED AT :                   | ---         |                                                                                                                                                                                                                                                              |  |                                |
|                                  | GROUND FLOOR                              | AS PER PLAN |                                                                                                                                                                                                                                                              |  |                                |
|                                  | ALL FLOOR                                 | AS PER PLAN |                                                                                                                                                                                                                                                              |  |                                |
|                                  | TOTAL TENEMENTS (3+4)                     | AS PER PLAN |                                                                                                                                                                                                                                                              |  |                                |
| D. TENEMENT PARTICULARS          |                                           |             | SIGNATURE :                                                                                                                                                                                                                                                  |  |                                |
| 1.                               | NOS OF ROOMS/TENEMENTS                    | ---         | ARCHITECT / ENGINEER / SURVEYOR                                                                                                                                                                                                                              |  |                                |
| 2.                               | TOILET UNITS PROVIDED FOR TENEMENT        | ---         |                                                                                                                                                                                                                                                              |  |                                |
| 3.                               | TENEMENT FLOOR AREA                       | ---         |                                                                                                                                                                                                                                                              |  |                                |
| E. PARKING STATEMENT             |                                           |             | VI.                                                                                                                                                                                                                                                          |  |                                |
| 1.                               | PARKING SPACE REQUIRED AS PER REGULATIONS | 14,316.34   | SIGNATORY                                                                                                                                                                                                                                                    |  | NAME AND ADDRESS WITH LIC. NO. |
| 2.                               | PROPOSED PARKING SPACE :                  | 14,915.92   | SIGNATURE                                                                                                                                                                                                                                                    |  |                                |
| 3.                               | LOADING UNLOADING                         | ---         |                                                                                                                                                                                                                                                              |  |                                |
| OWNER'S SIGNATURE                |                                           |             | ARCHITECT/                                                                                                                                                                                                                                                   |  |                                |
|                                  |                                           |             | -ENGINEER/                                                                                                                                                                                                                                                   |  |                                |
|                                  |                                           |             | SURVEYOR                                                                                                                                                                                                                                                     |  |                                |
| X.....                           |                                           |             | Bhavdip Hirani (BARCH)                                                                                                                                                                                                                                       |  |                                |
| NAYABEN CHANDRAVADAN HERSELF &   |                                           |             | Add- 303,Ruchita Apt., Athugar Street,                                                                                                                                                                                                                       |  |                                |
| PA/HJ OF JAYDIP CHANDRAVADAN &   |                                           |             | Nanpura, Surat.                                                                                                                                                                                                                                              |  |                                |
| RAJIVBHAI CHANDRAVADAN           |                                           |             | Council of ARCHITECTS - CA/2015/71032                                                                                                                                                                                                                        |  |                                |
|                                  |                                           |             | SMC Lic. No.- TDO / AR / 333                                                                                                                                                                                                                                 |  |                                |
|                                  |                                           |             | Tel.- 0261 2461848                                                                                                                                                                                                                                           |  |                                |