

western
oasis
21 SUPERIOR FAMILIES

A PROJECT BY



Congestion arising from rapid population growth and uncontrolled urban expansion are exerting pressure on the city's amenities, resources and the natural environment. Systematic planning, co-operation and good construction are crucial to address the many challenges that Surat city faces. To allow for its sustainable development in the future. Western Group has earned the reputation as the most prestigious construction group. Group's prominent work force with top-class engineers, outstanding technicians and continuous community support have been indispensable as the driving forces behind our development.



A WORLD OF CONVENIENCE...

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21 SUPERIOR FAMILIES



TO LIVE IN WITH PRIDE AND PLEASURE...

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21 SUPERIOR FAMILIES



LAYOUT PLAN



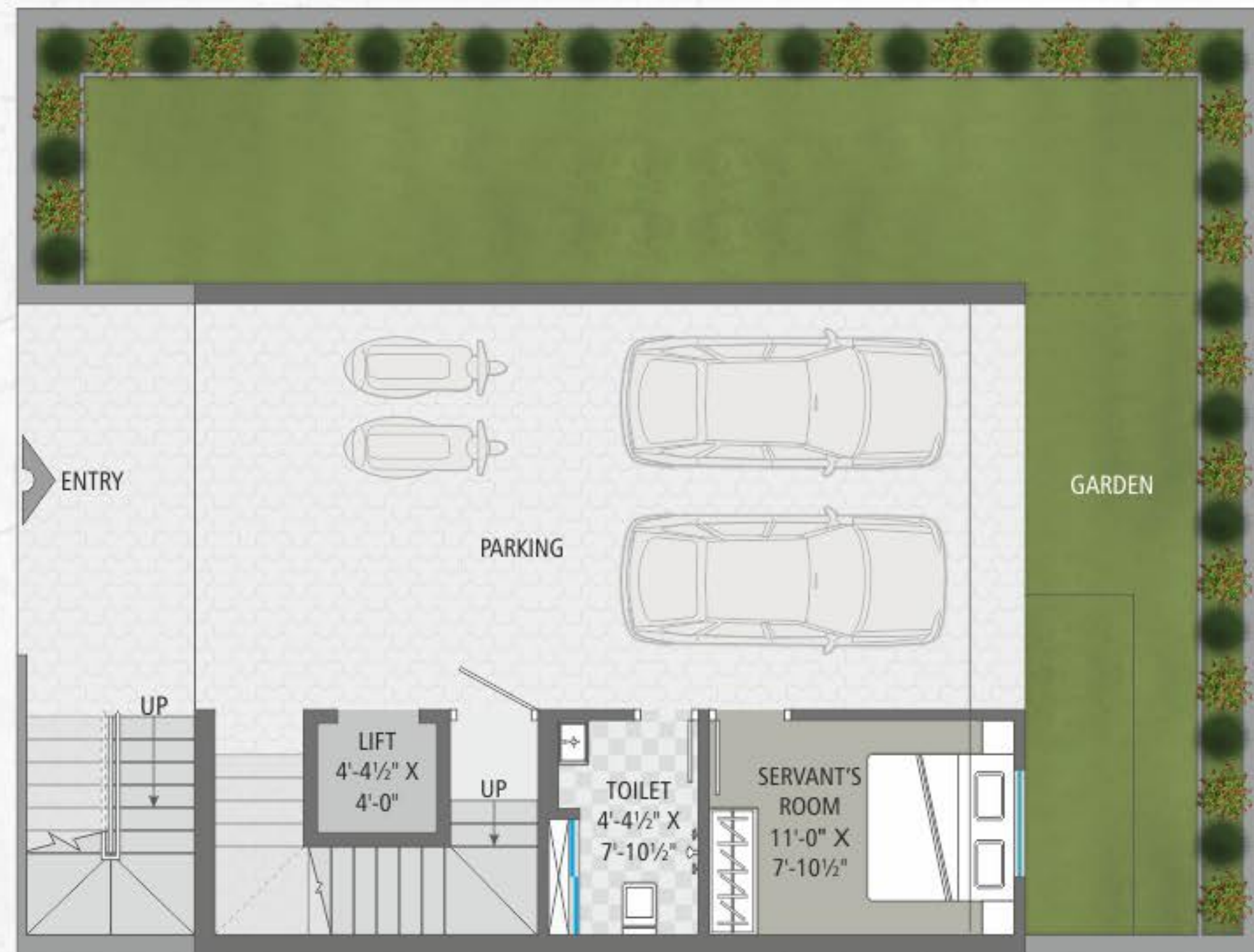
SPECIAL FEATURES

- CHILDREN PLAY AREA
- SENIOR CITIZEN SEATING
- WATER CASCADE
- BEAUTIFULLY DESIGNED GARDEN
- DECORATIVE ENTRANCE MAIN GATE

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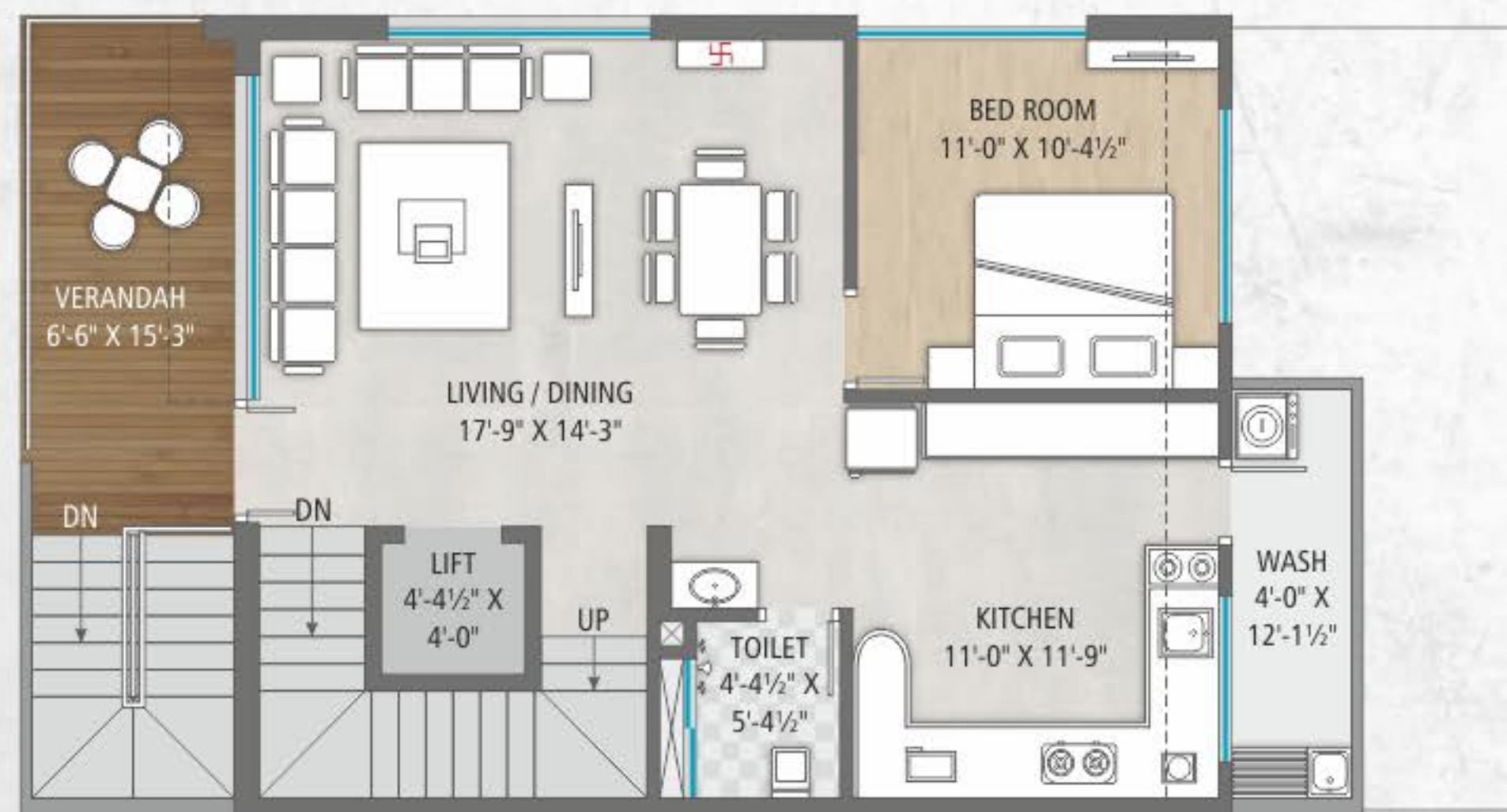
UNIT-1
32'-8½" X 45'-0"

GROUND FLOOR PLAN



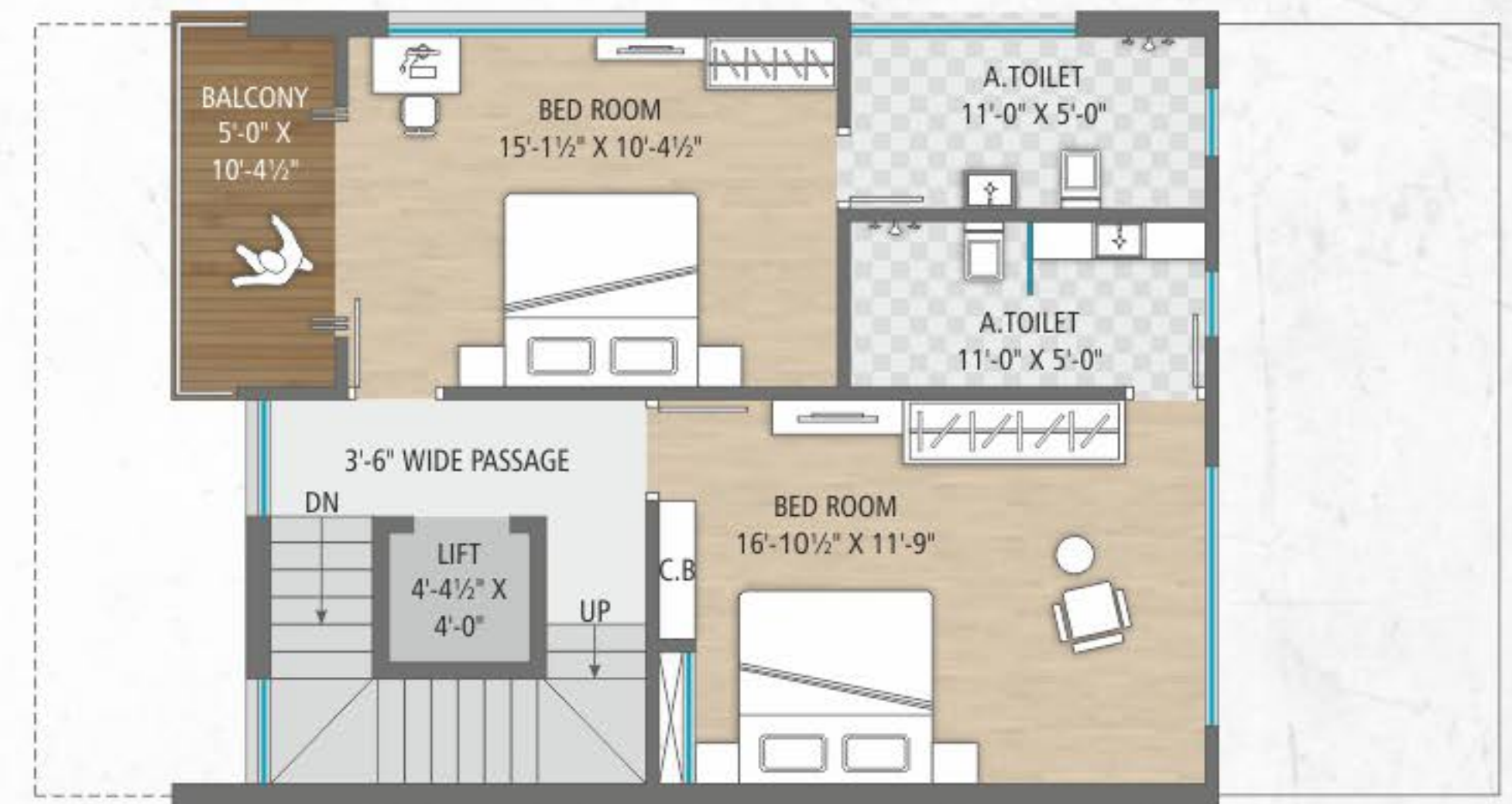
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FIRST FLOOR PLAN



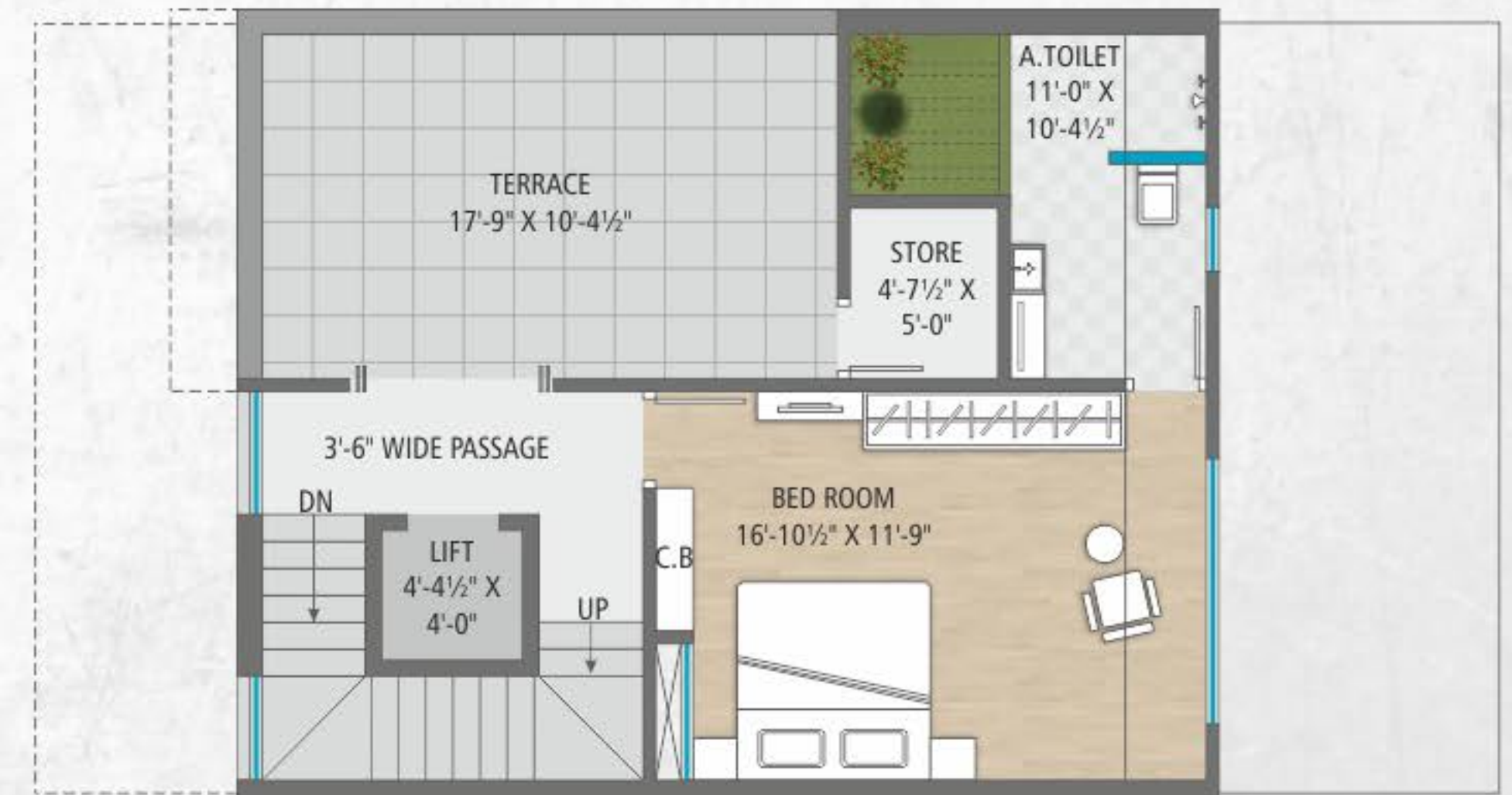
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2 ND FLOOR PLAN



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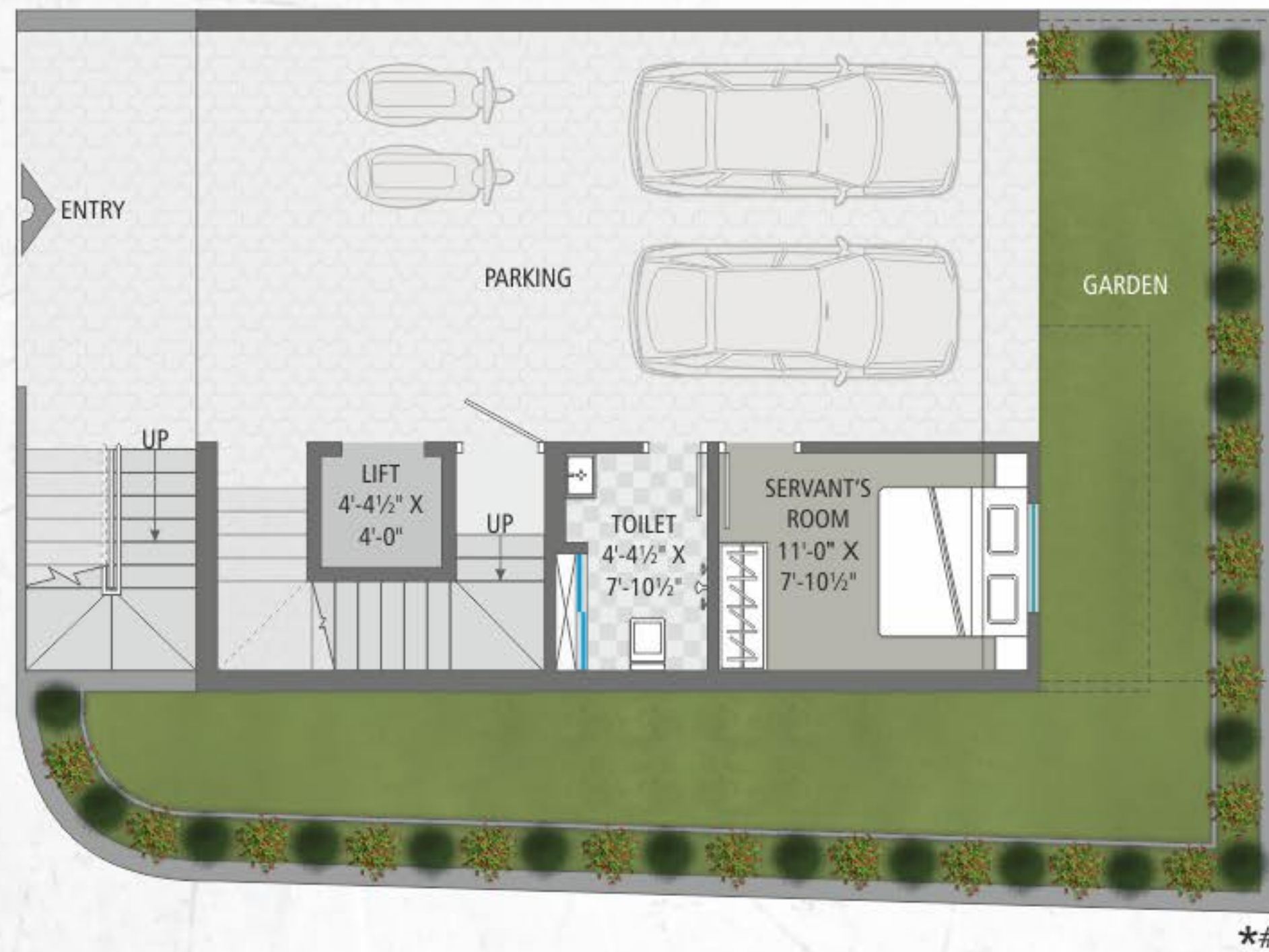
3 RD FLOOR PLAN



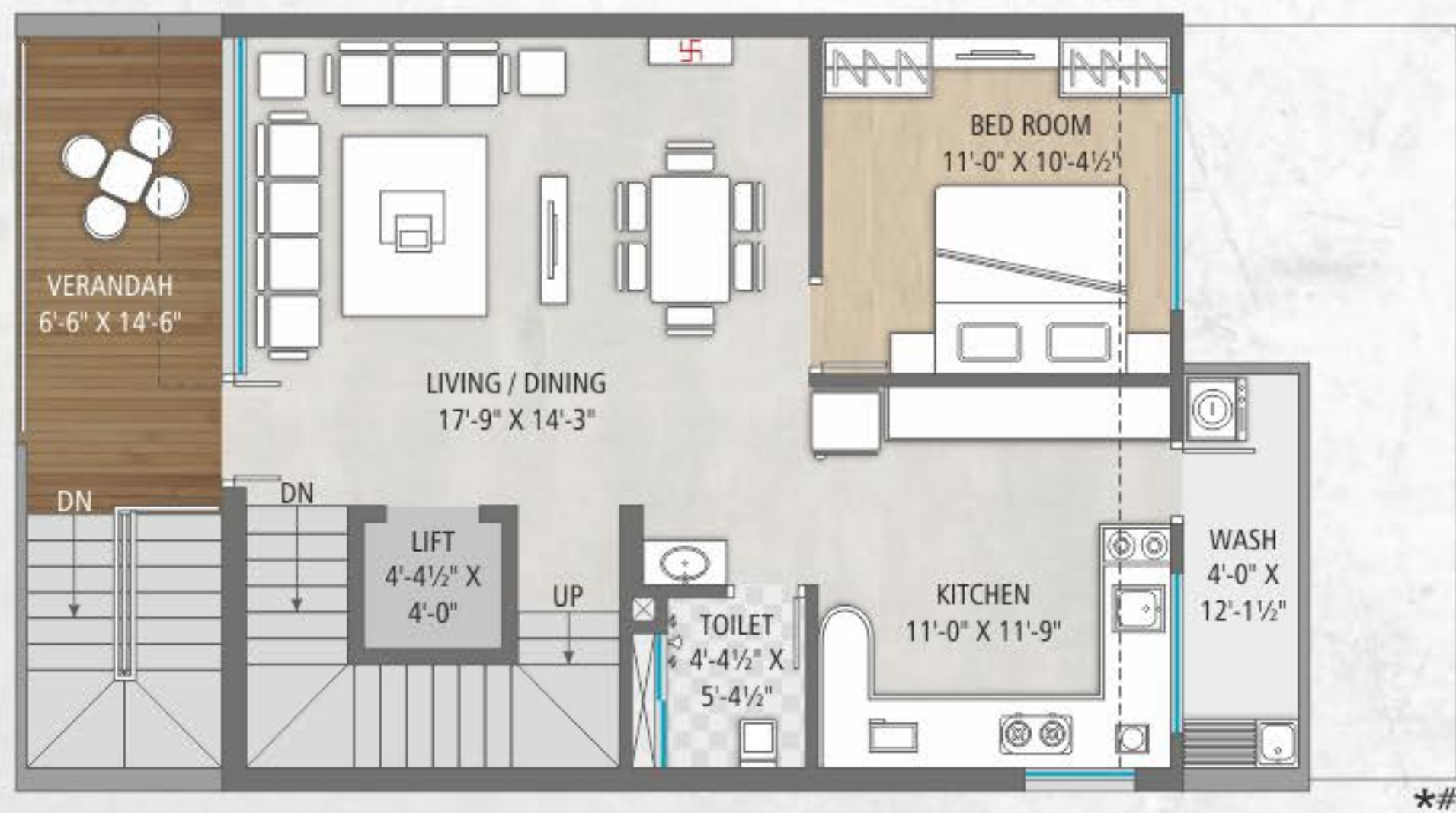
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UNIT-6
31'-0" X 45'-0"

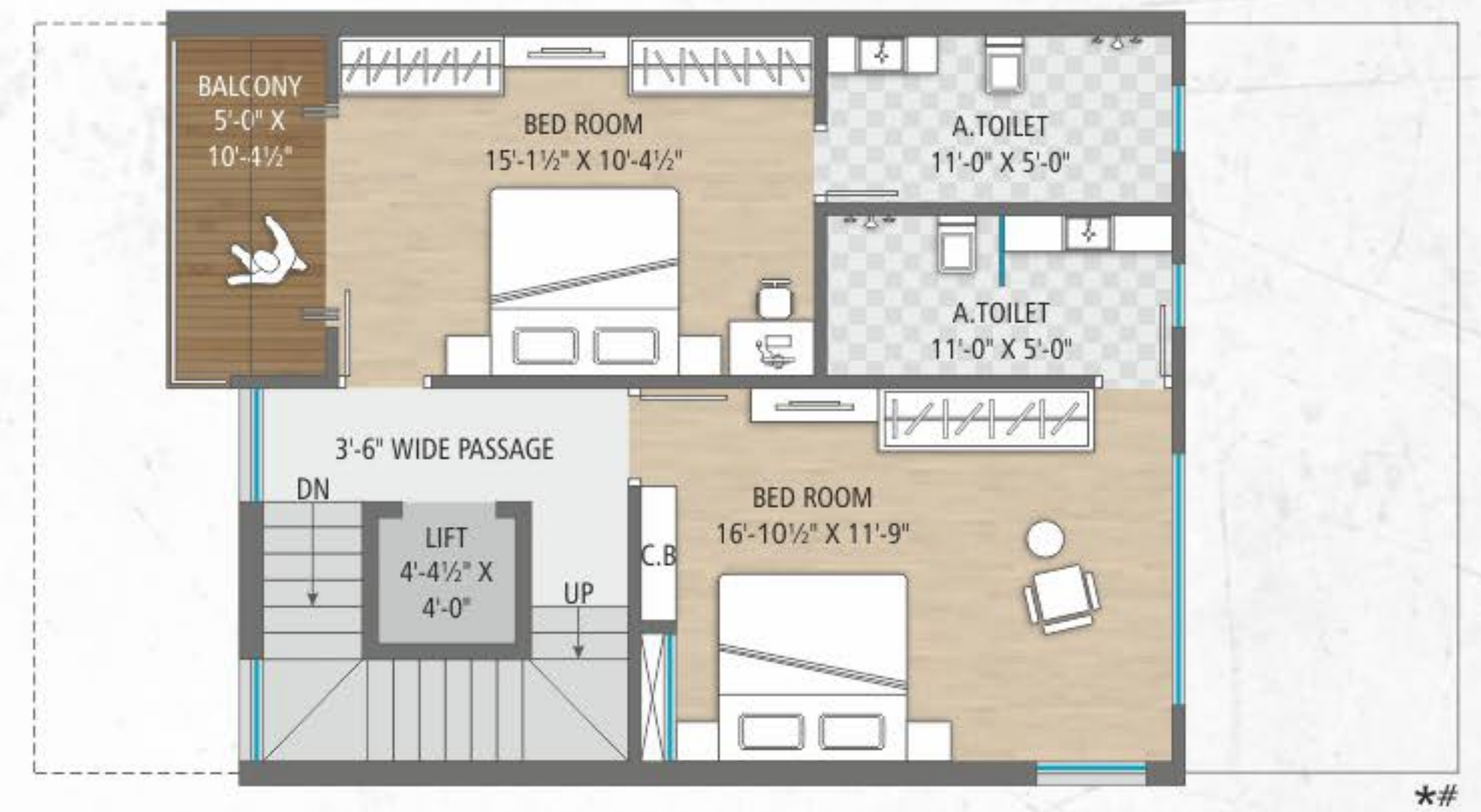
GROUND FLOOR PLAN



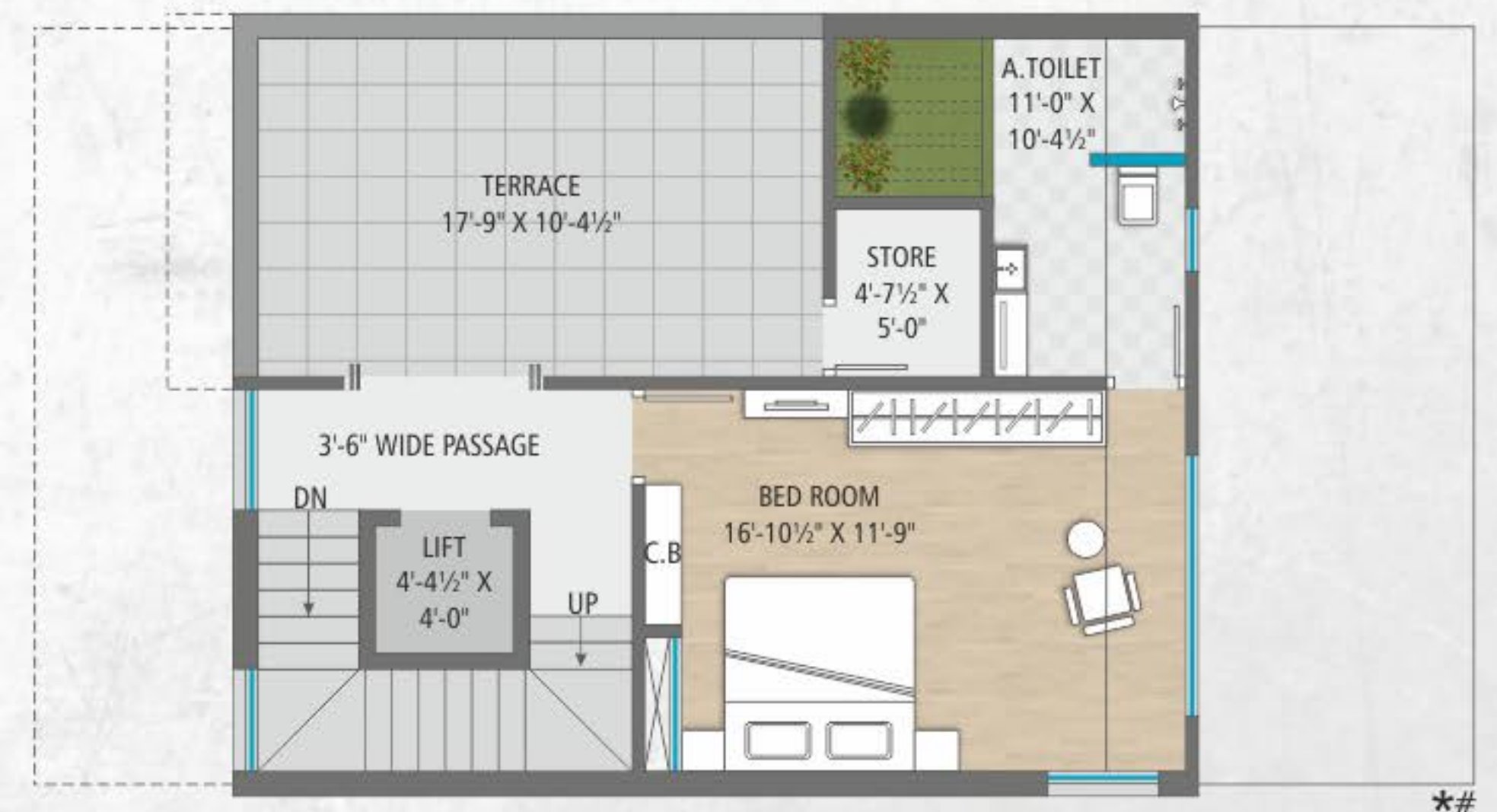
FIRST FLOOR PLAN



2 ND FLOOR PLAN

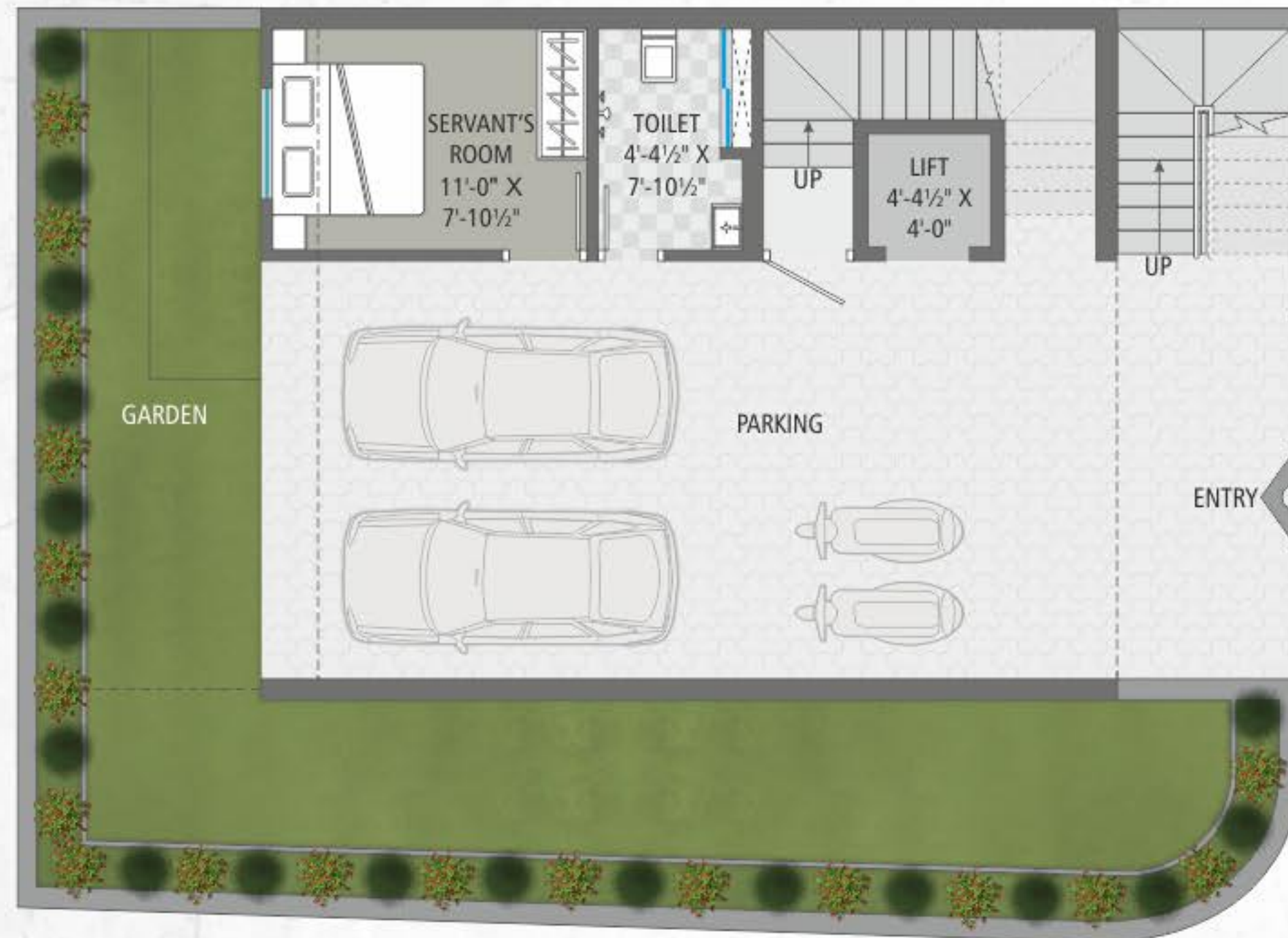


3 RD FLOOR PLAN



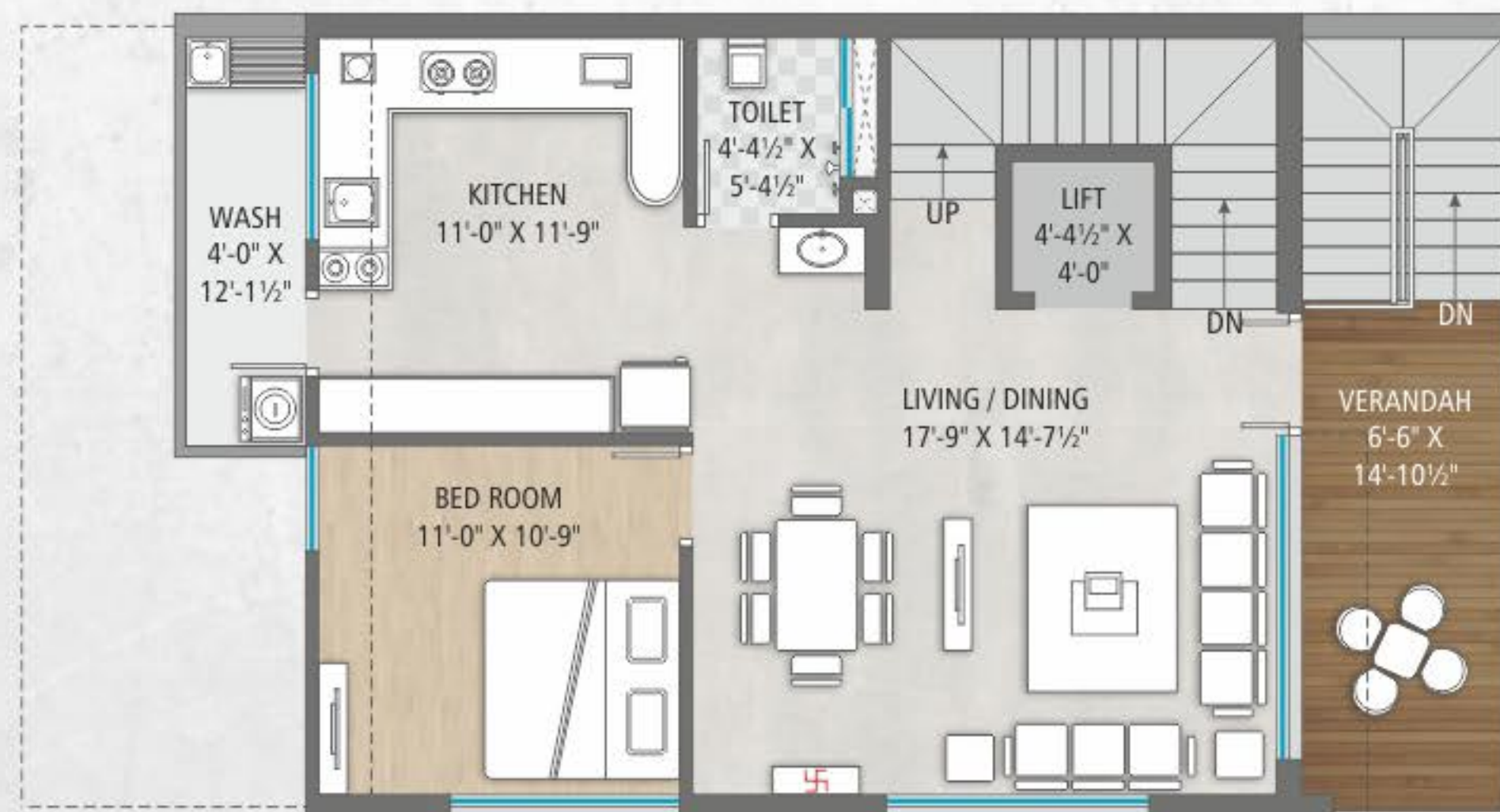
UNIT-7
32'-0" X 45'-0"

GROUND FLOOR PLAN



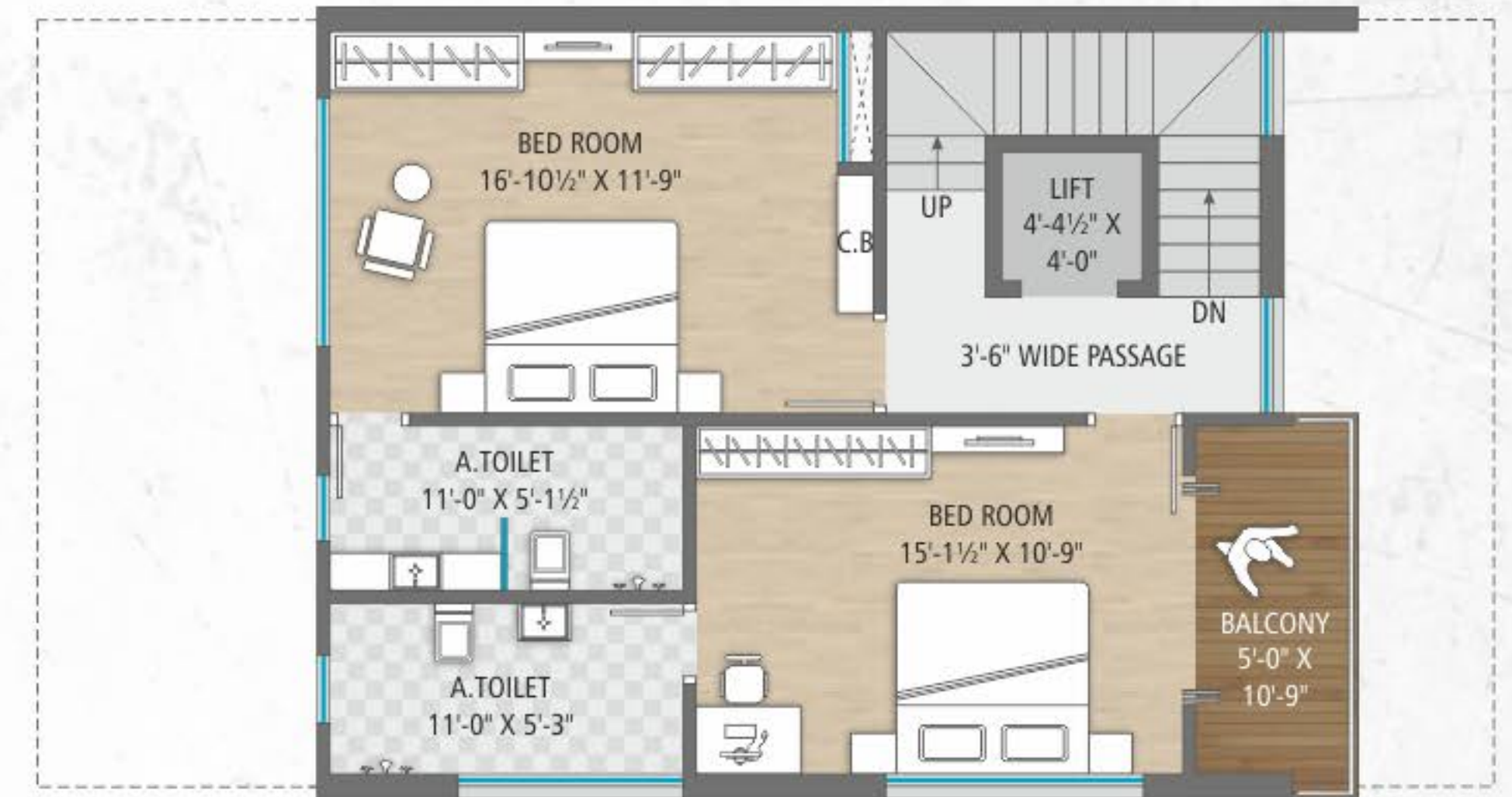
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FIRST FLOOR PLAN



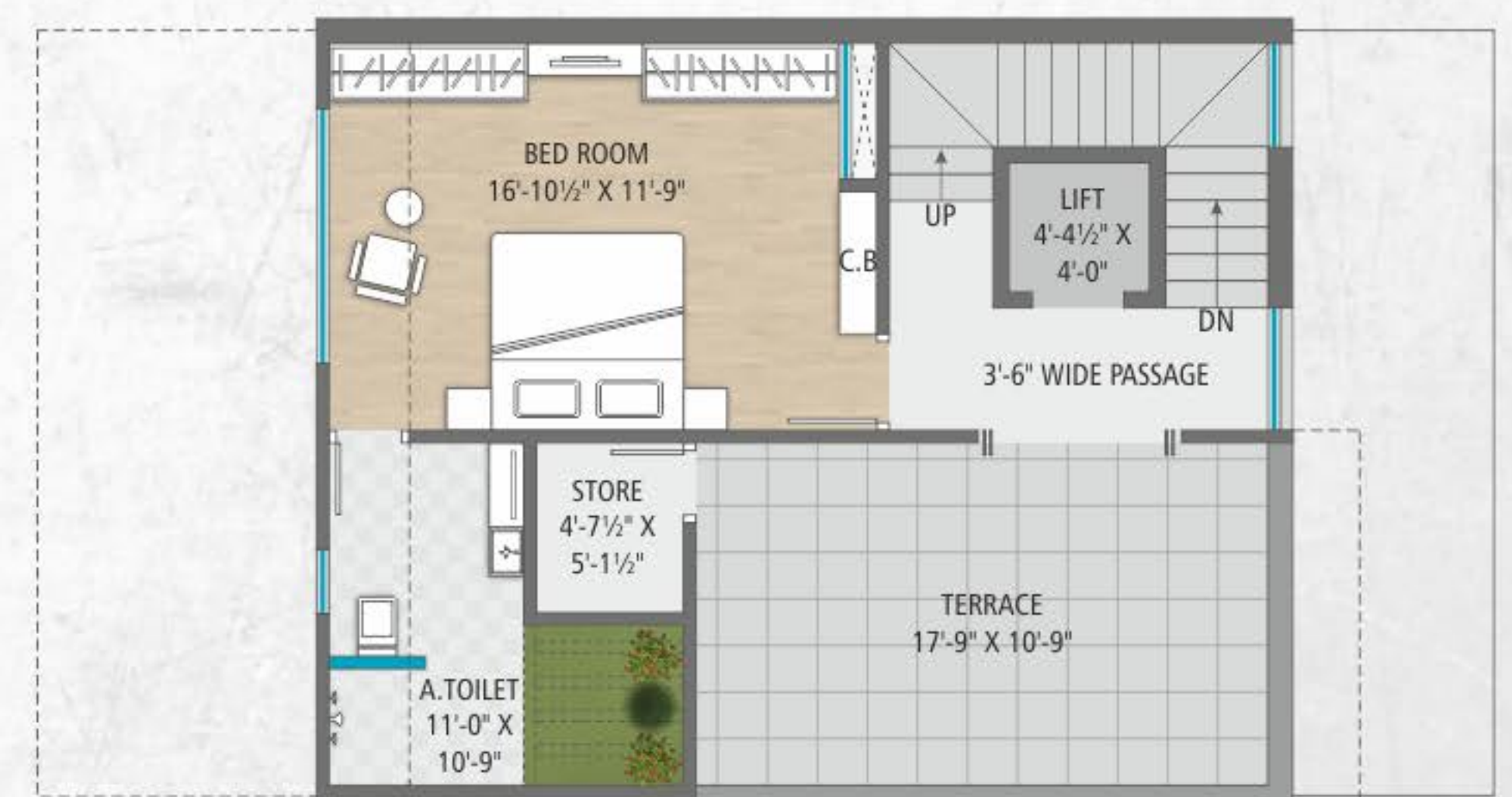
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2 ND FLOOR PLAN



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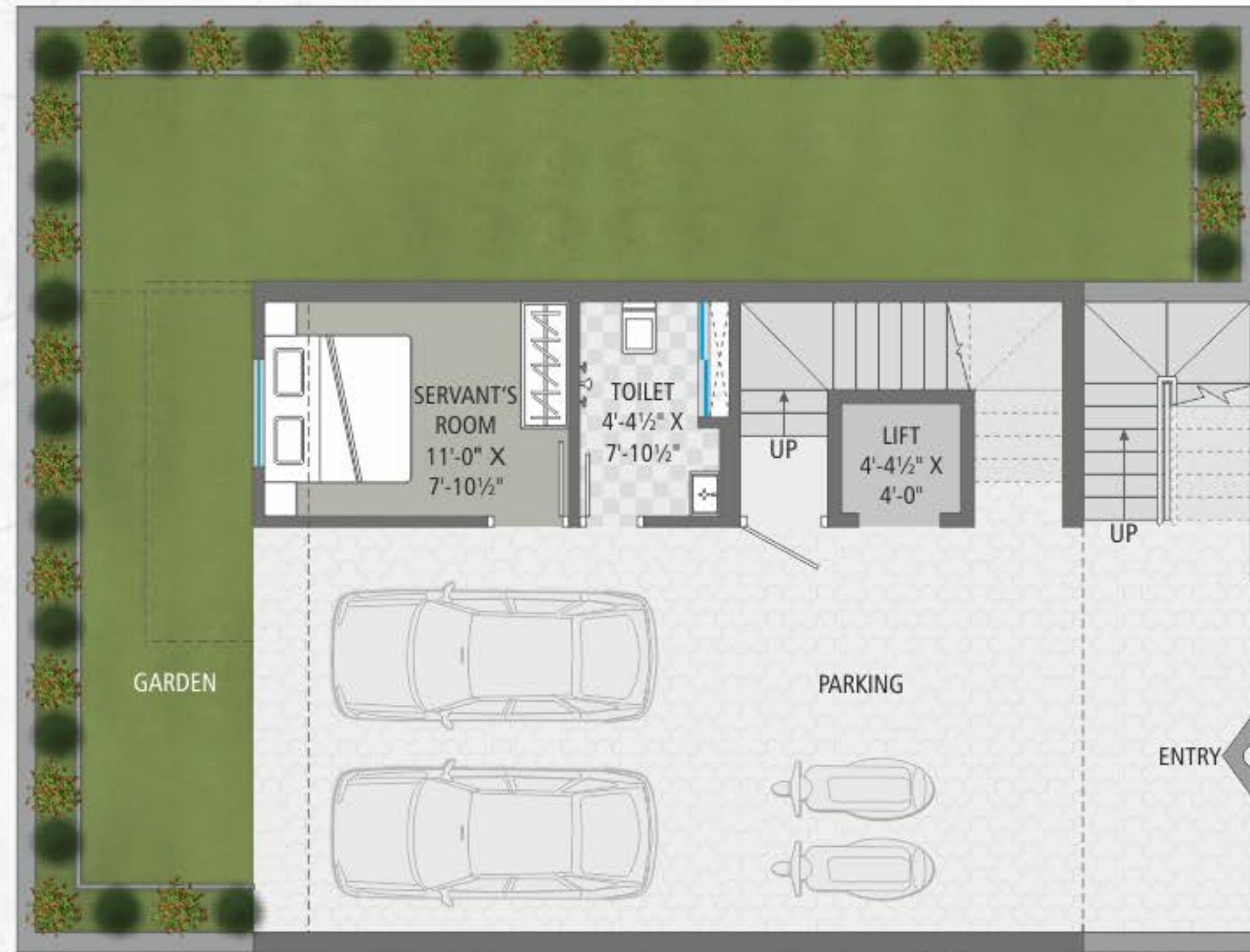
3 RD FLOOR PLAN



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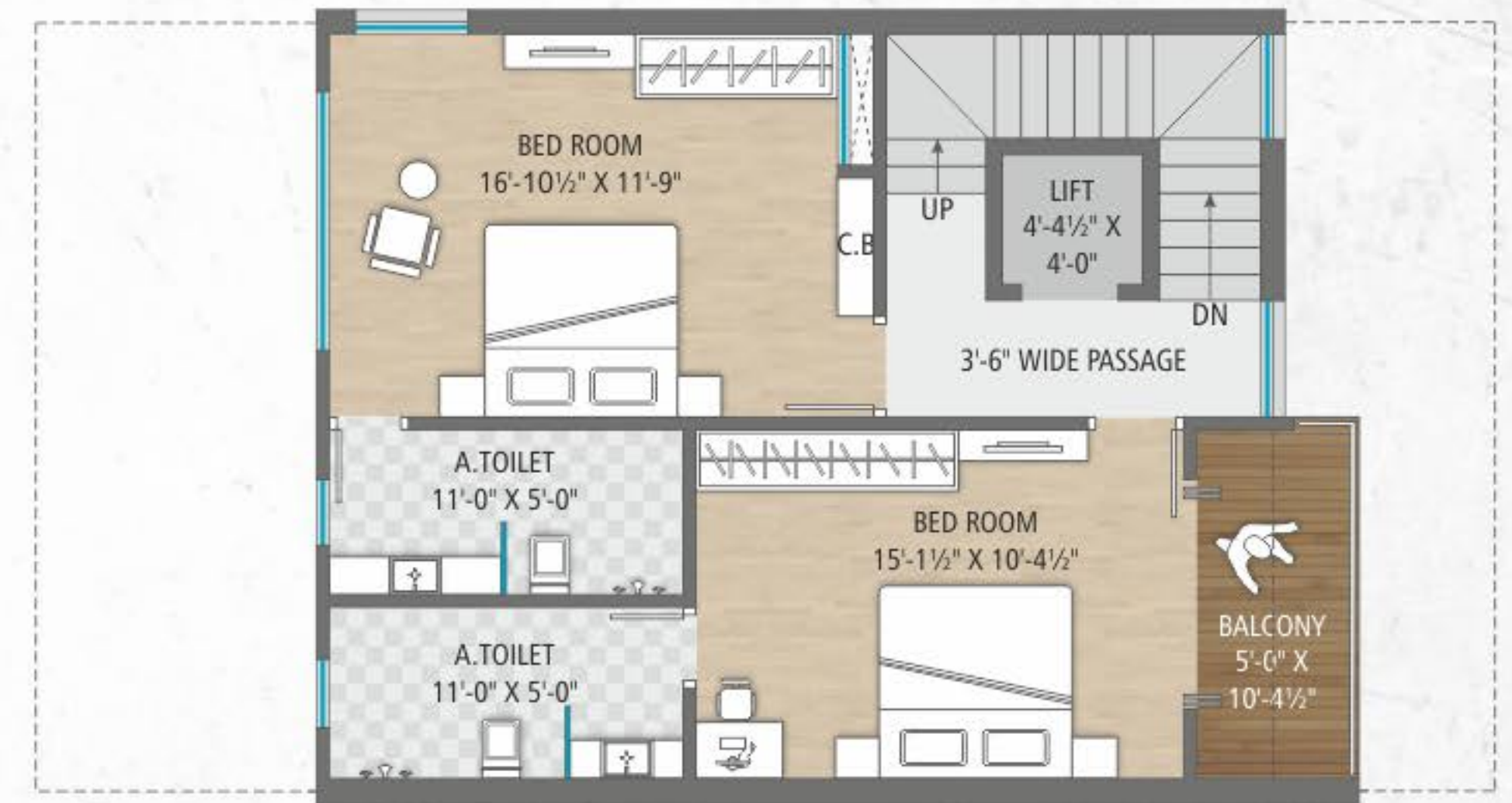
UNIT-12
32'-8½" X 45'-0"

GROUND FLOOR PLAN



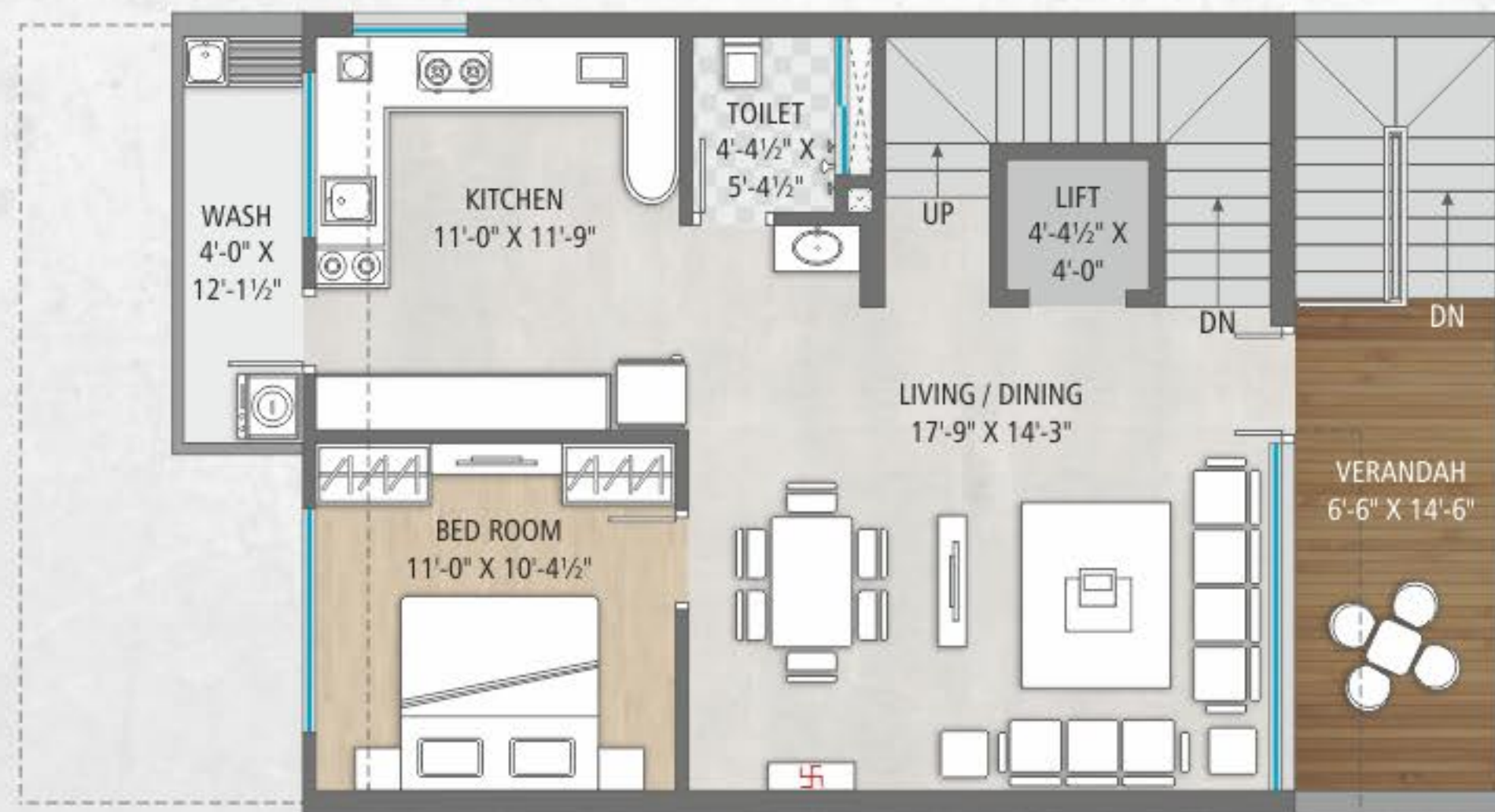
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2 ND FLOOR PLAN



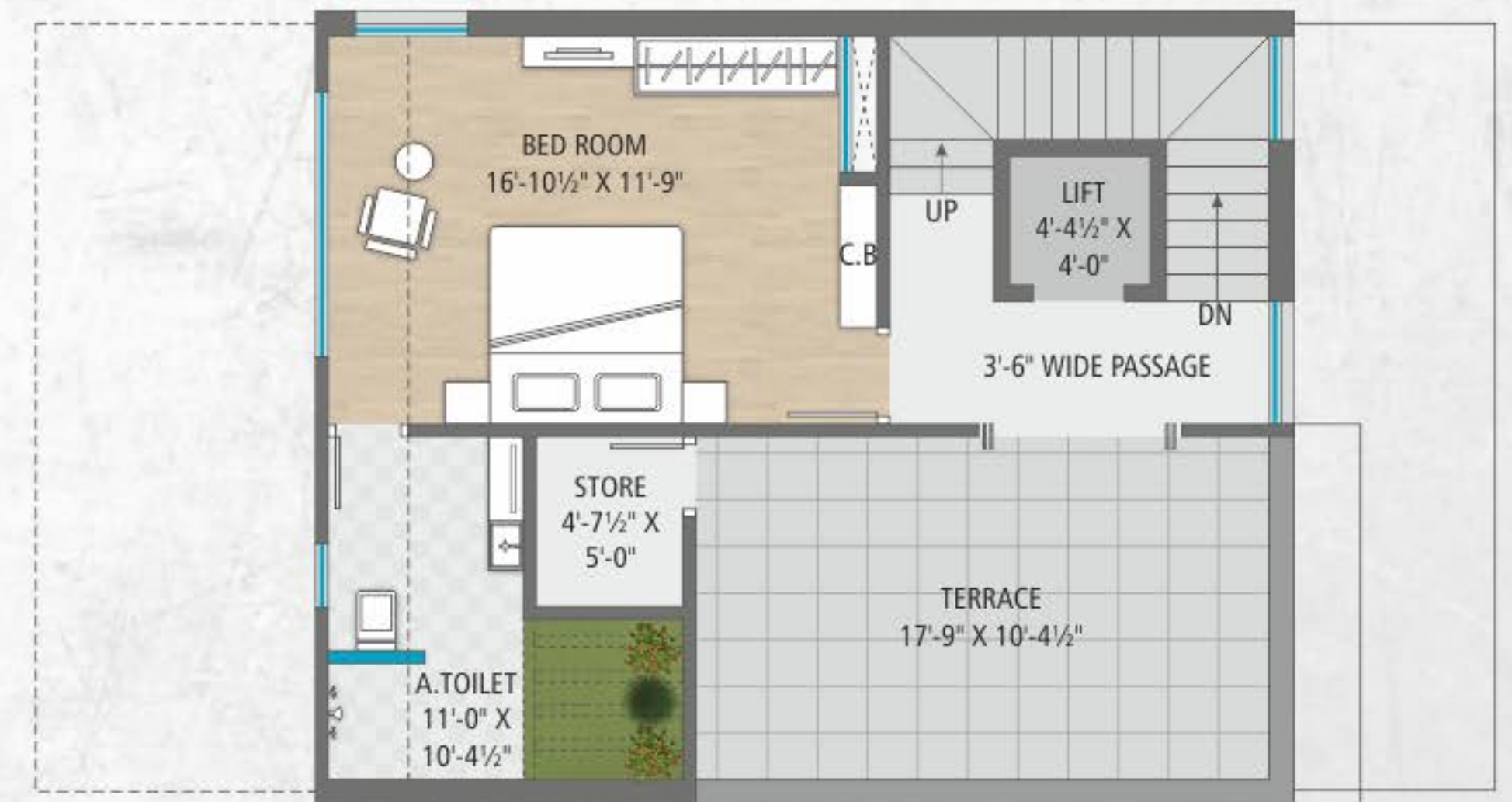
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FIRST FLOOR PLAN



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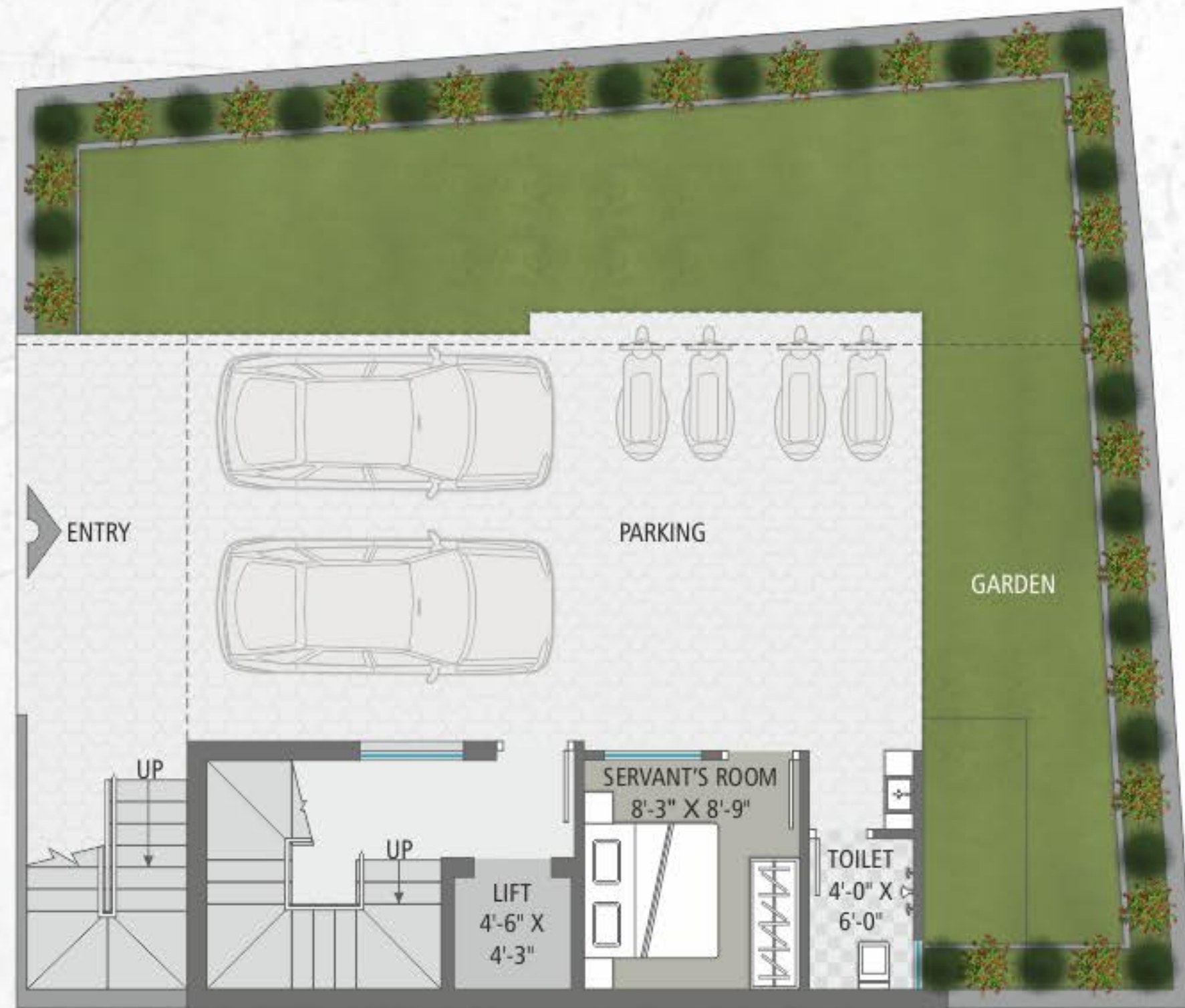
3 RD FLOOR PLAN



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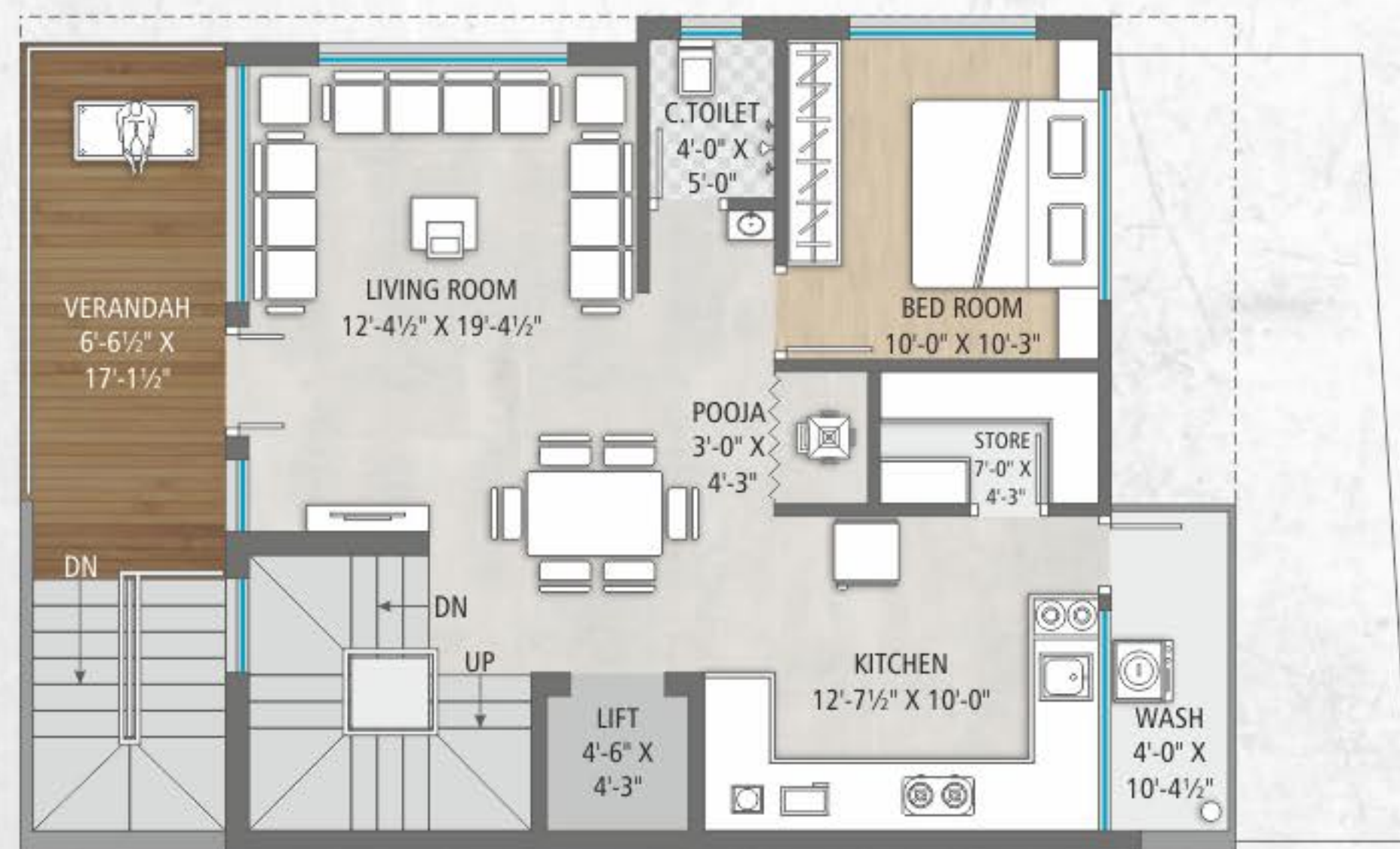
UNIT-14/A
37'-0" X 45'-0"

GROUND FLOOR PLAN



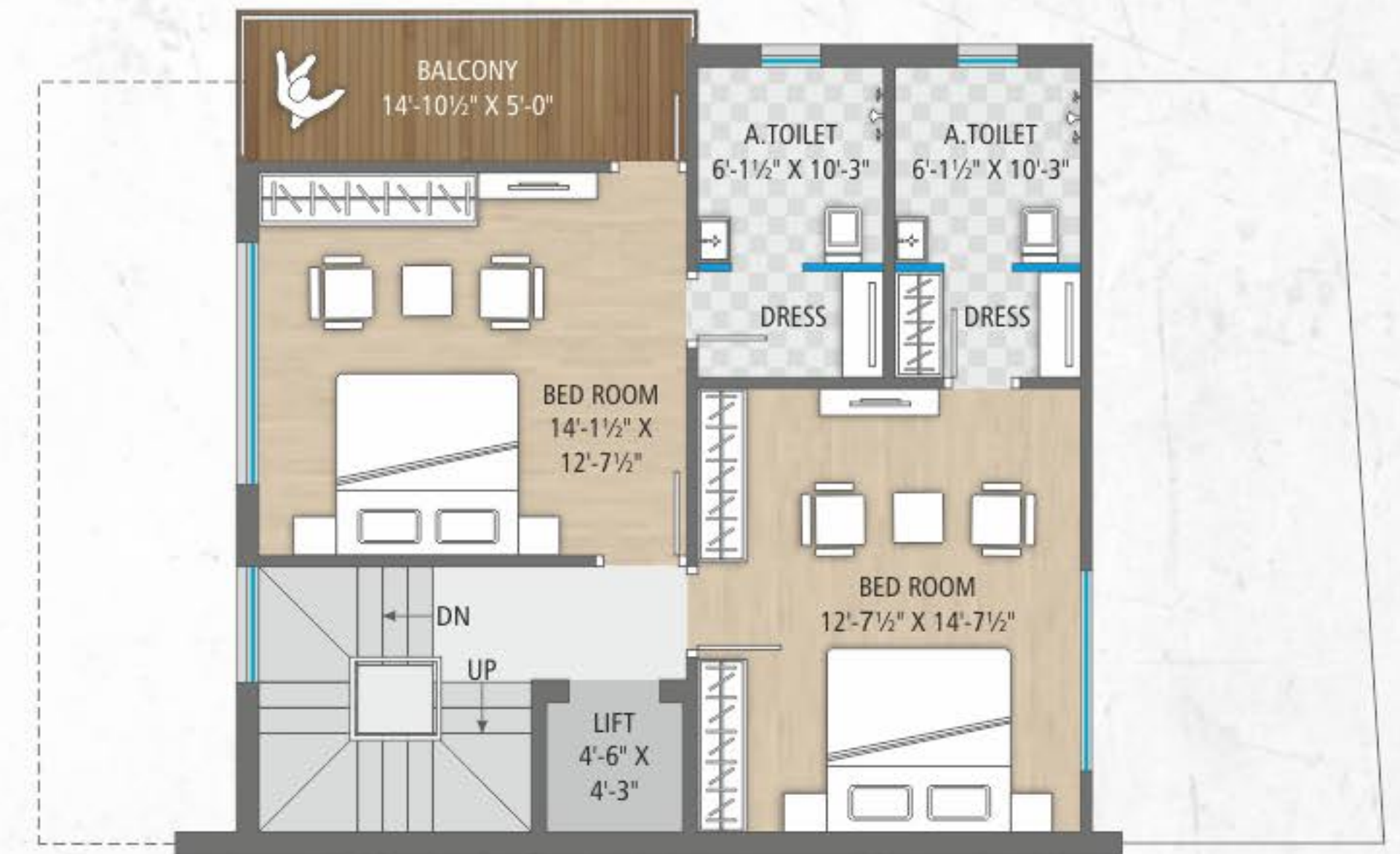
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FIRST FLOOR PLAN



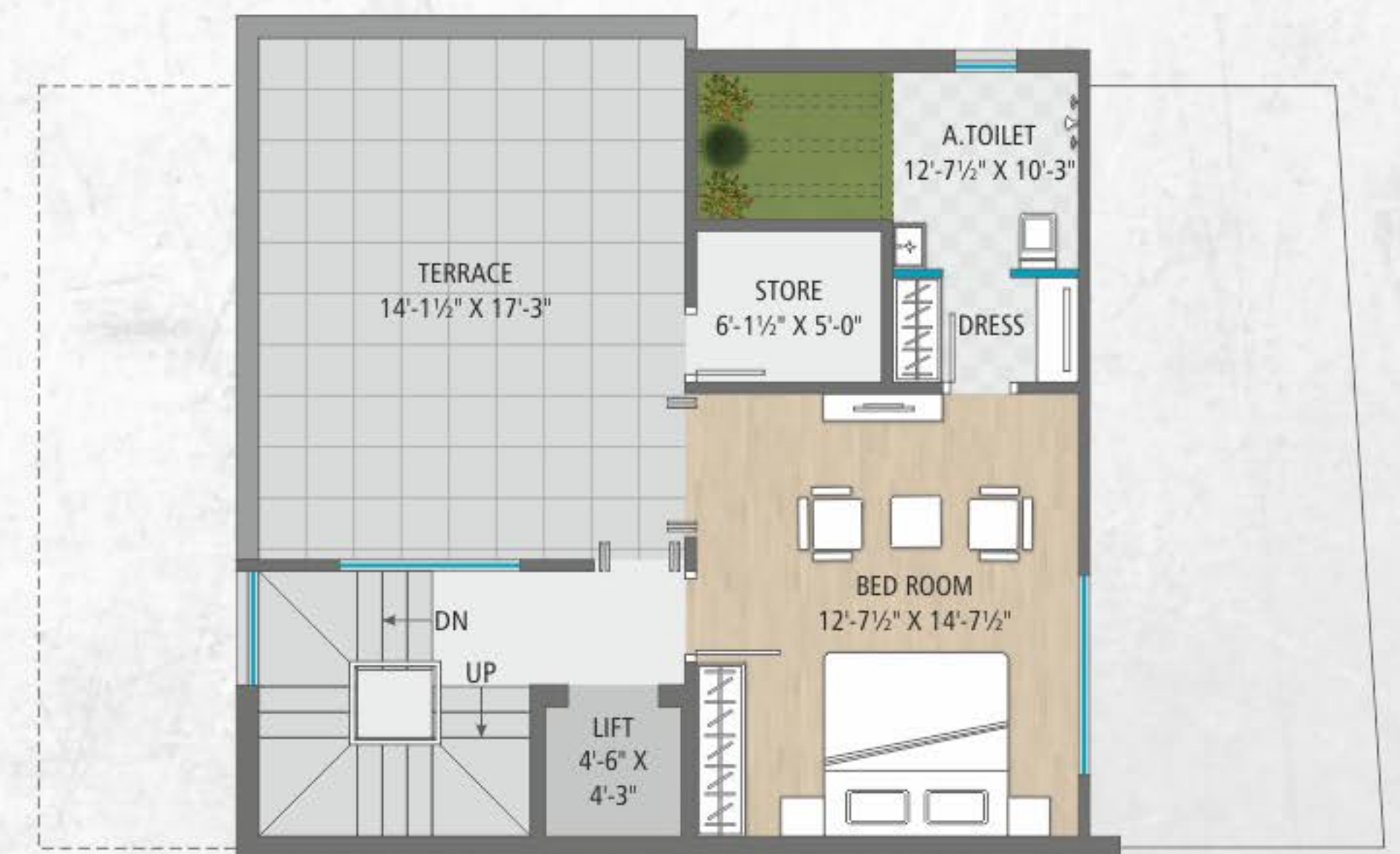
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2 ND FLOOR PLAN



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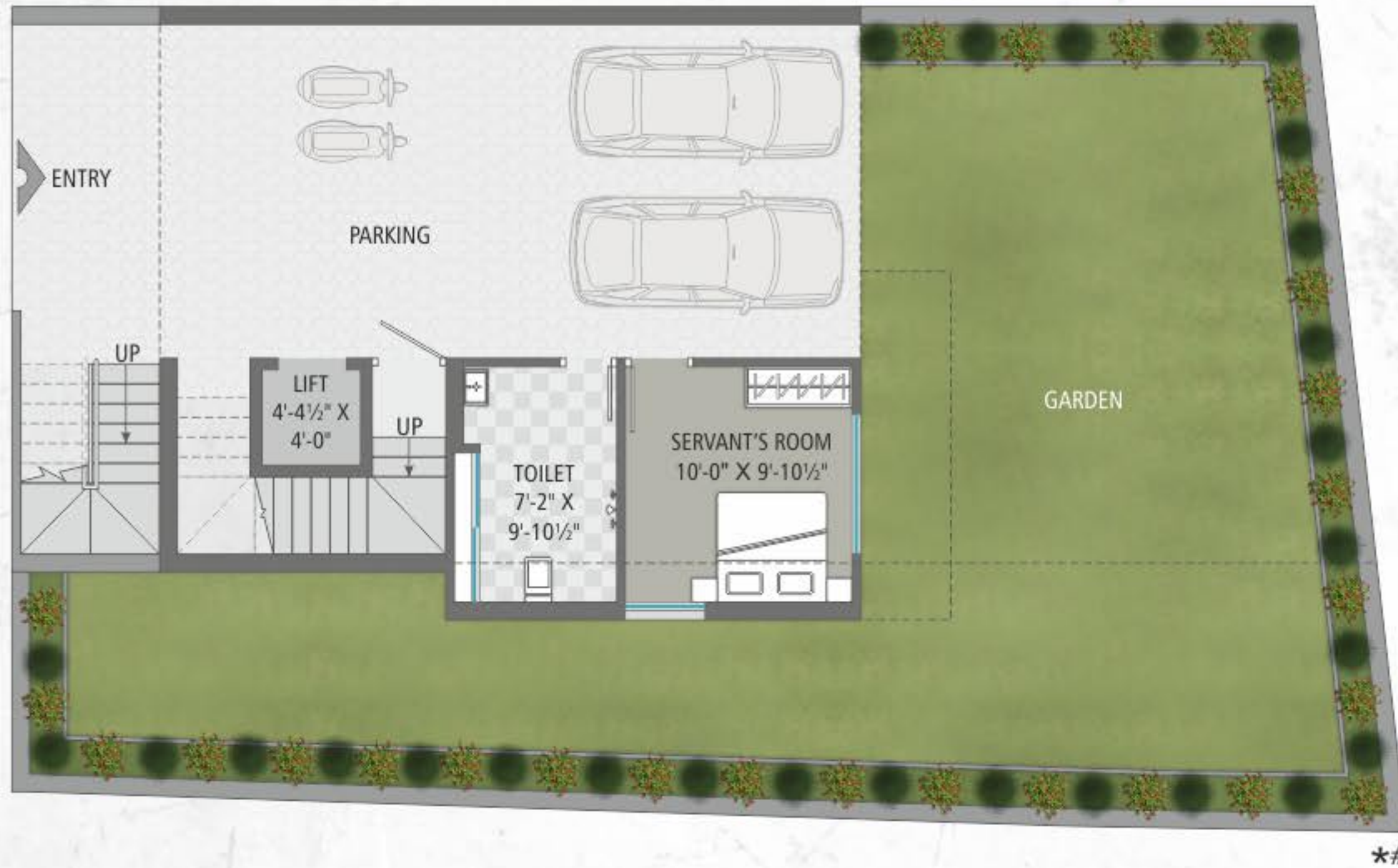
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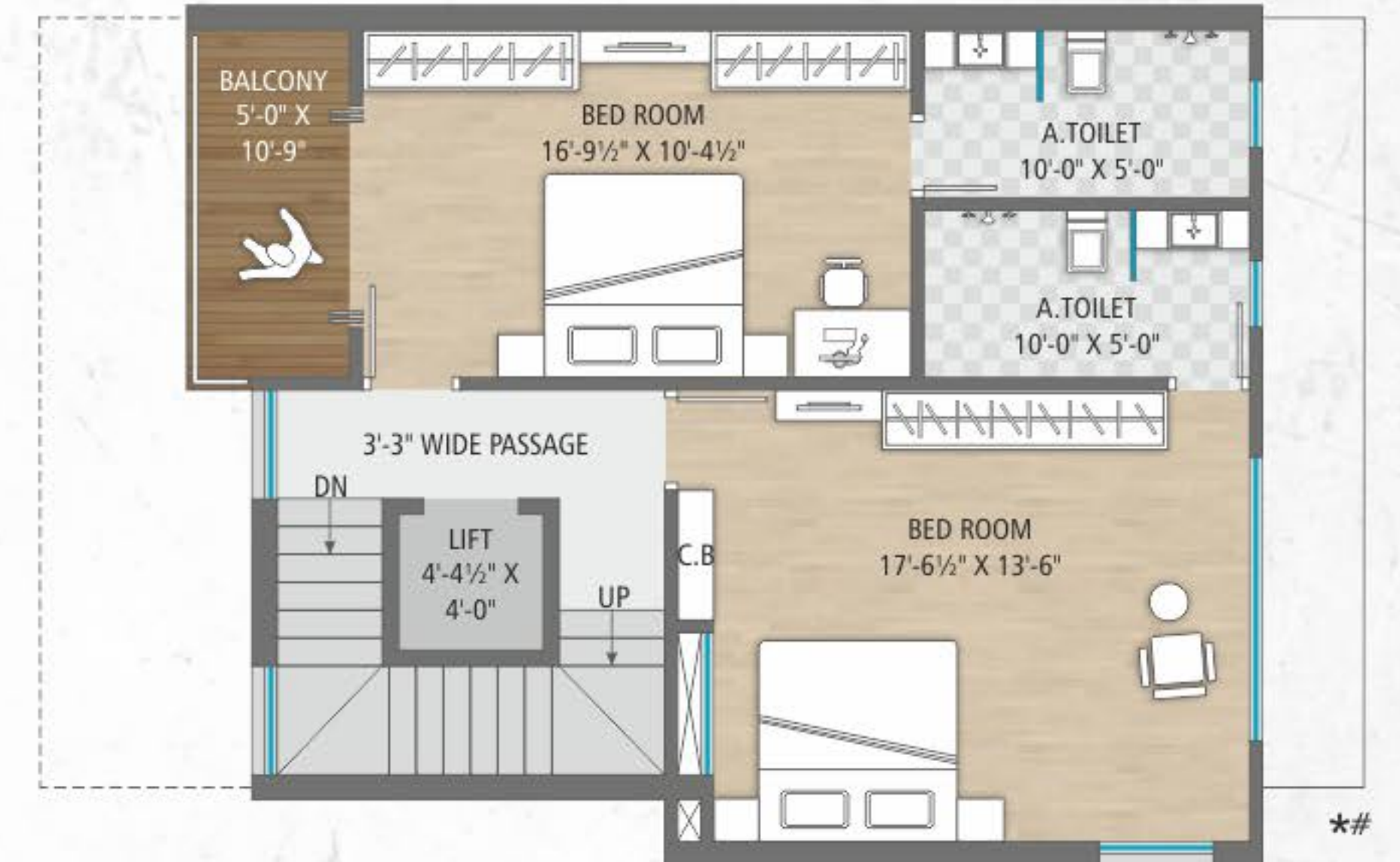
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UNIT-21
32'-0" X 59'-0"

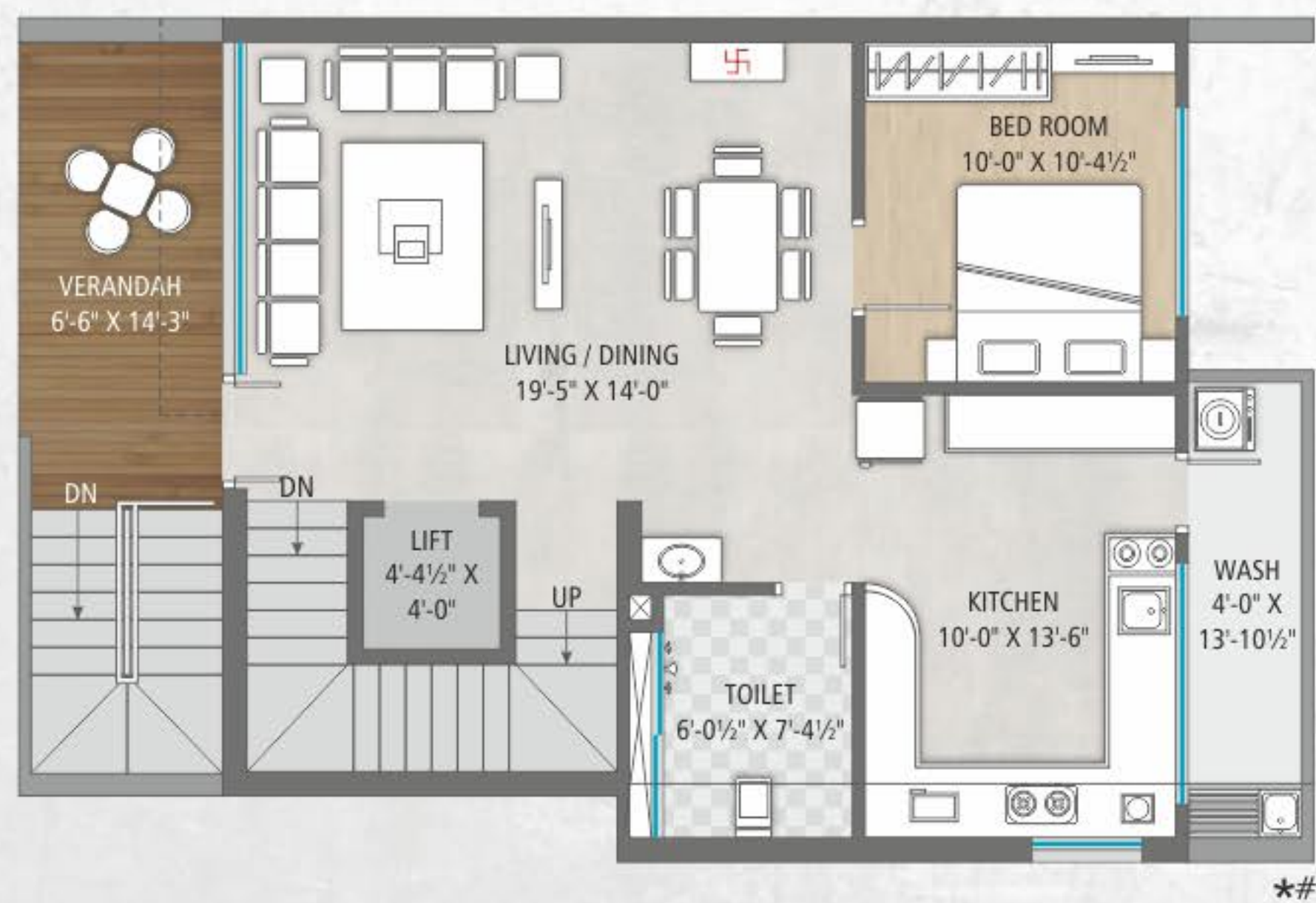
GROUND FLOOR PLAN



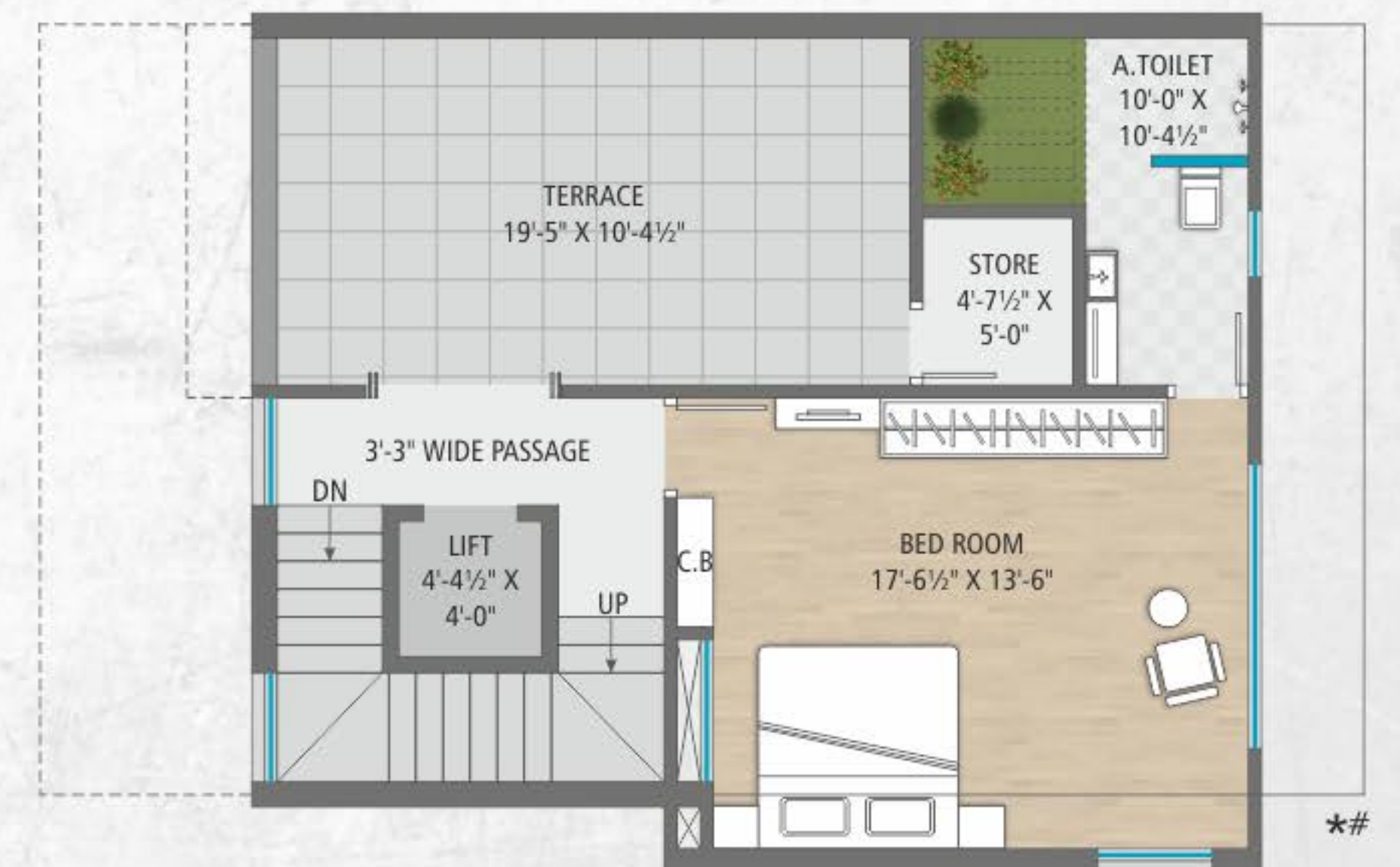
2 ND FLOOR PLAN



FIRST FLOOR PLAN

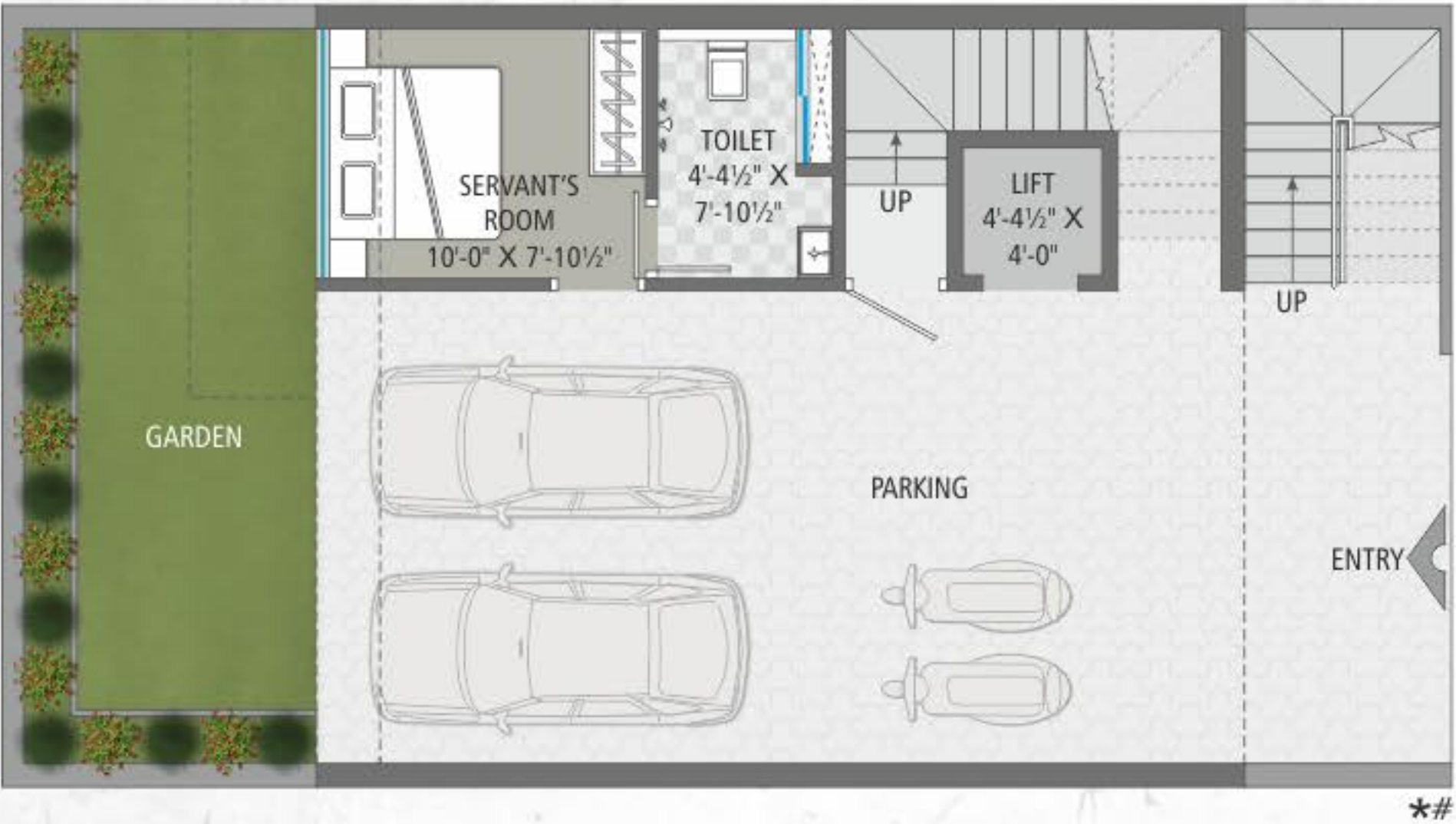


3 RD FLOOR PLAN

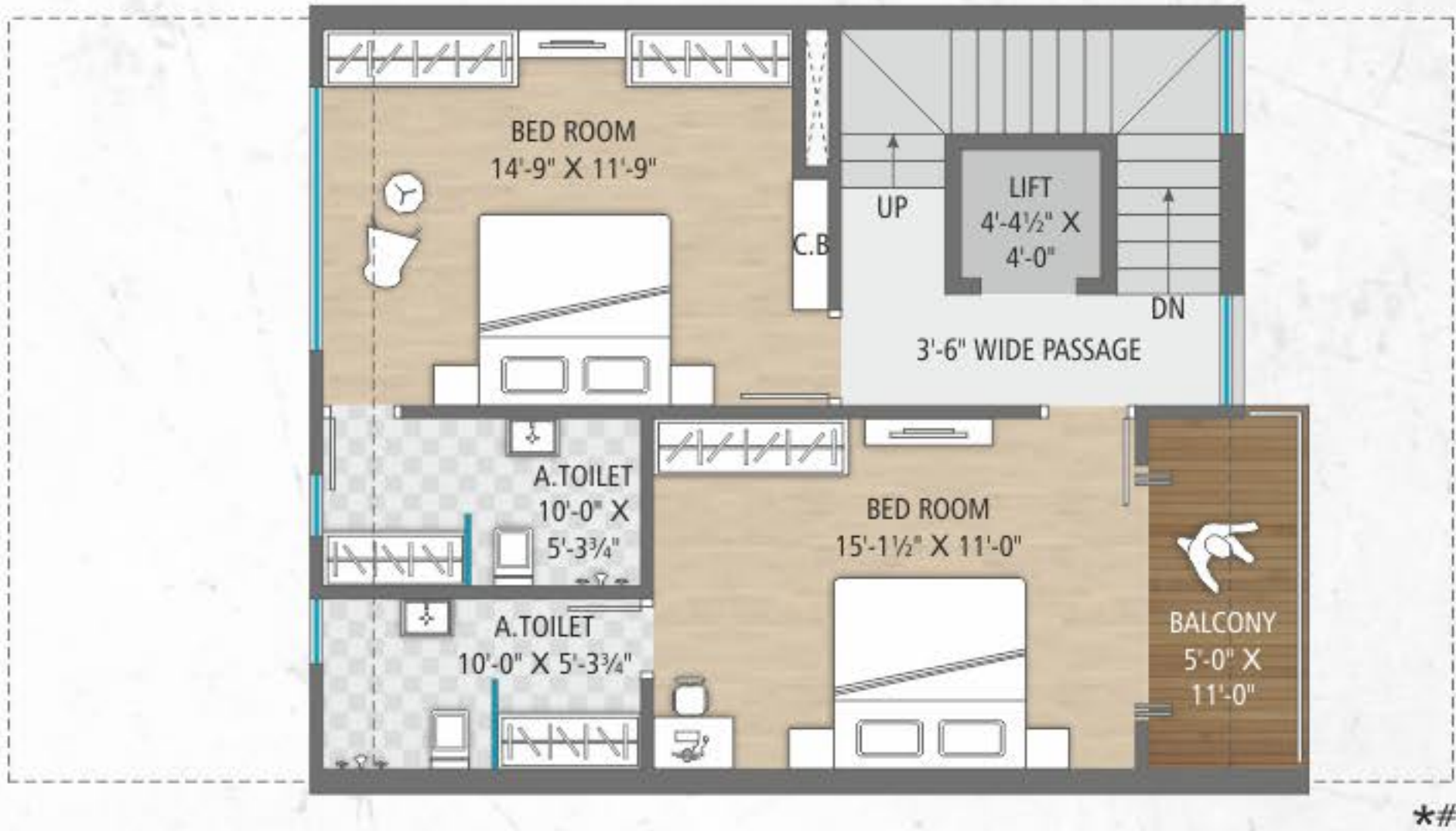


UNIT-2 TO 5 & 8 TO 11
23'-10½" X 45'-0"

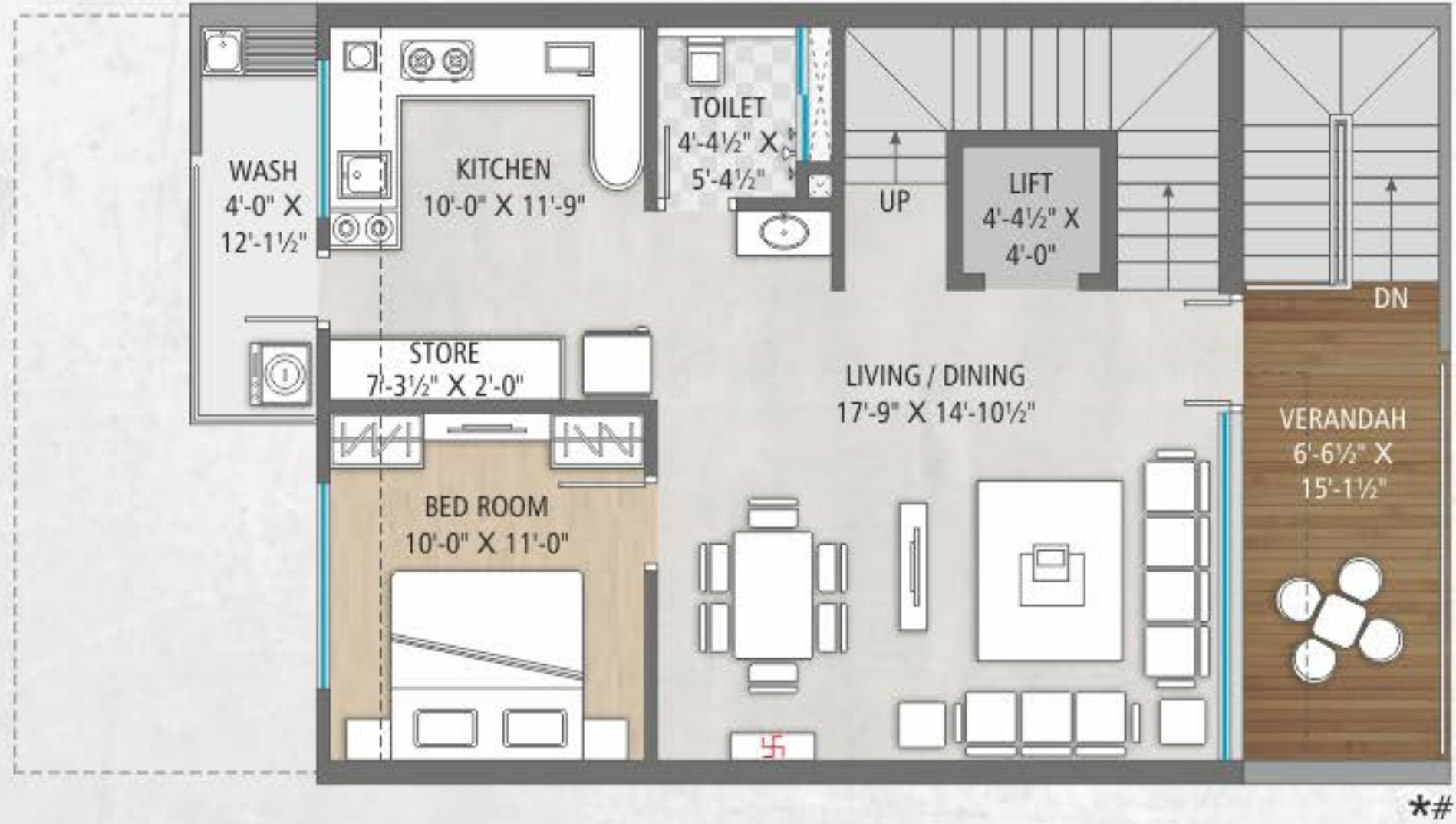
GROUND FLOOR PLAN



2 ND FLOOR PLAN



FIRST FLOOR PLAN

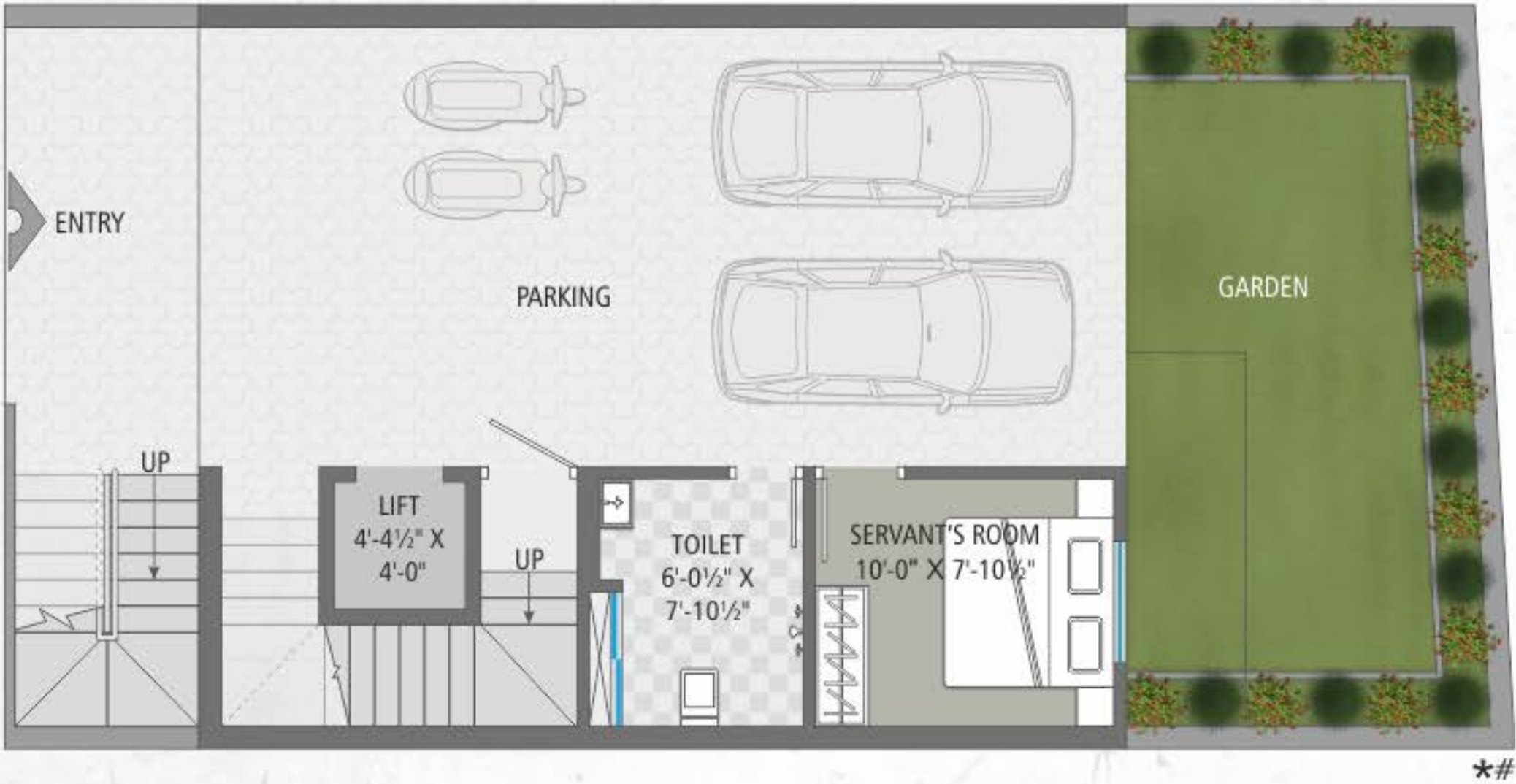


3 RD FLOOR PLAN

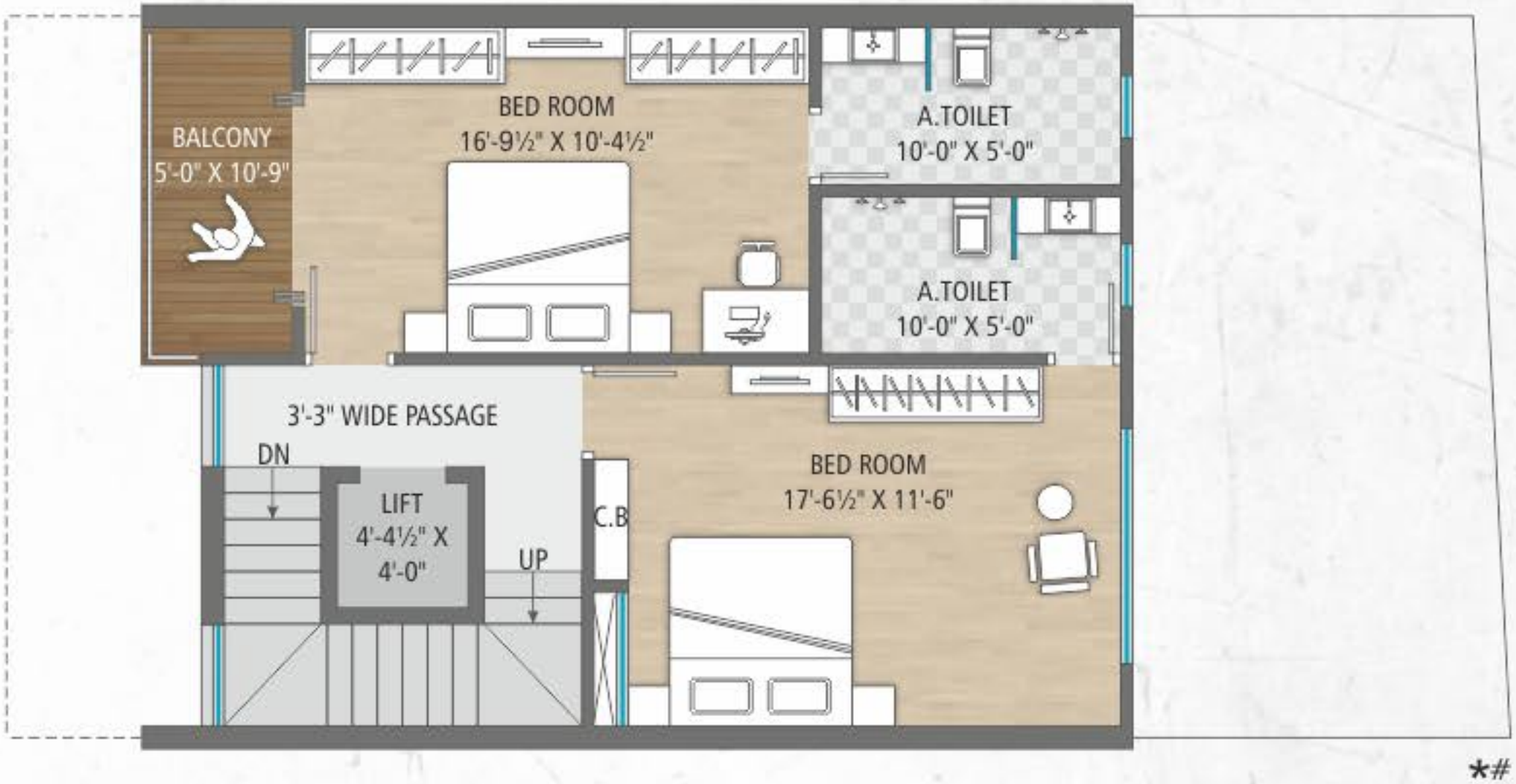


UNIT-14/B TO 20
23'-0" X 45'-0" (approx)

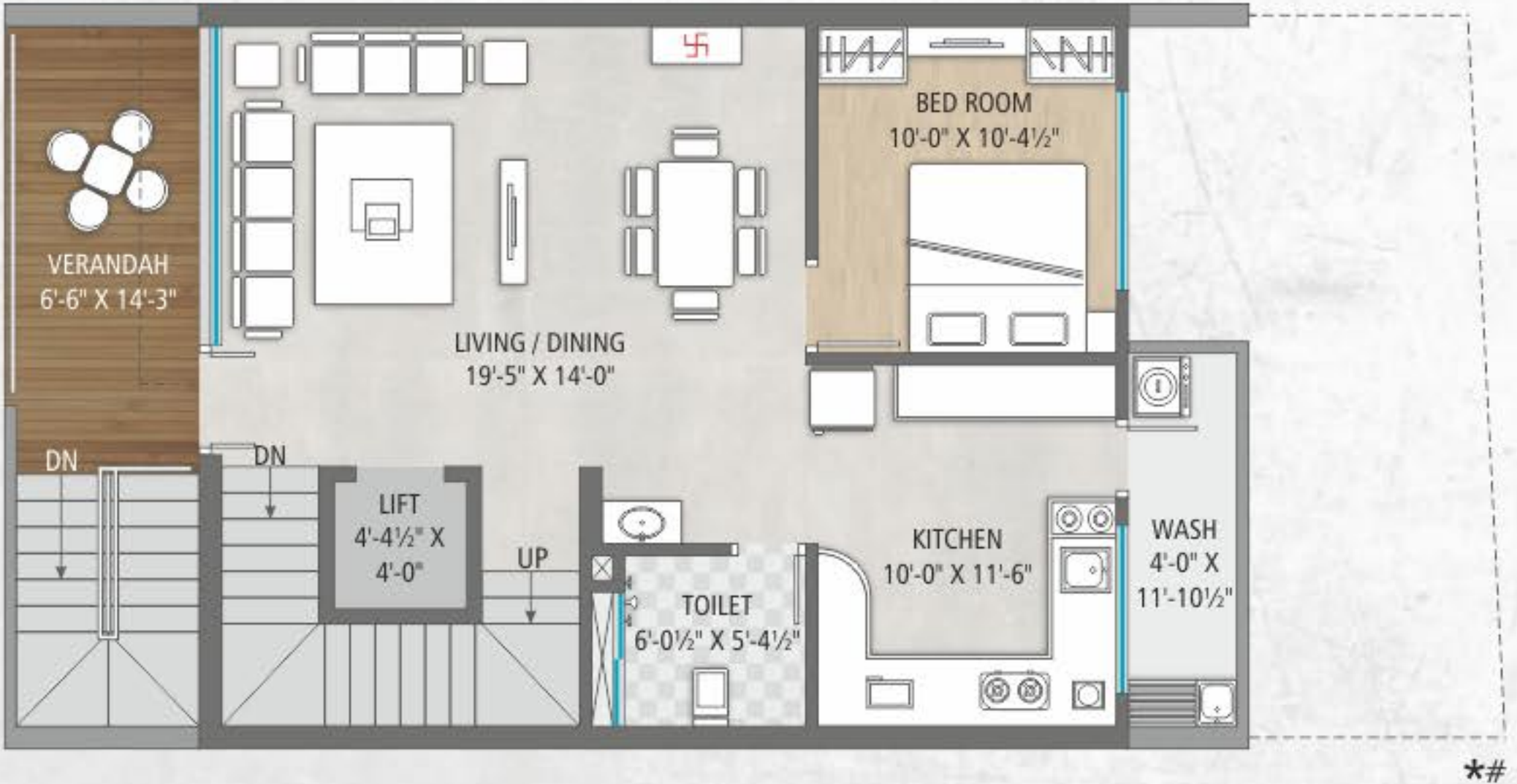
GROUND FLOOR PLAN



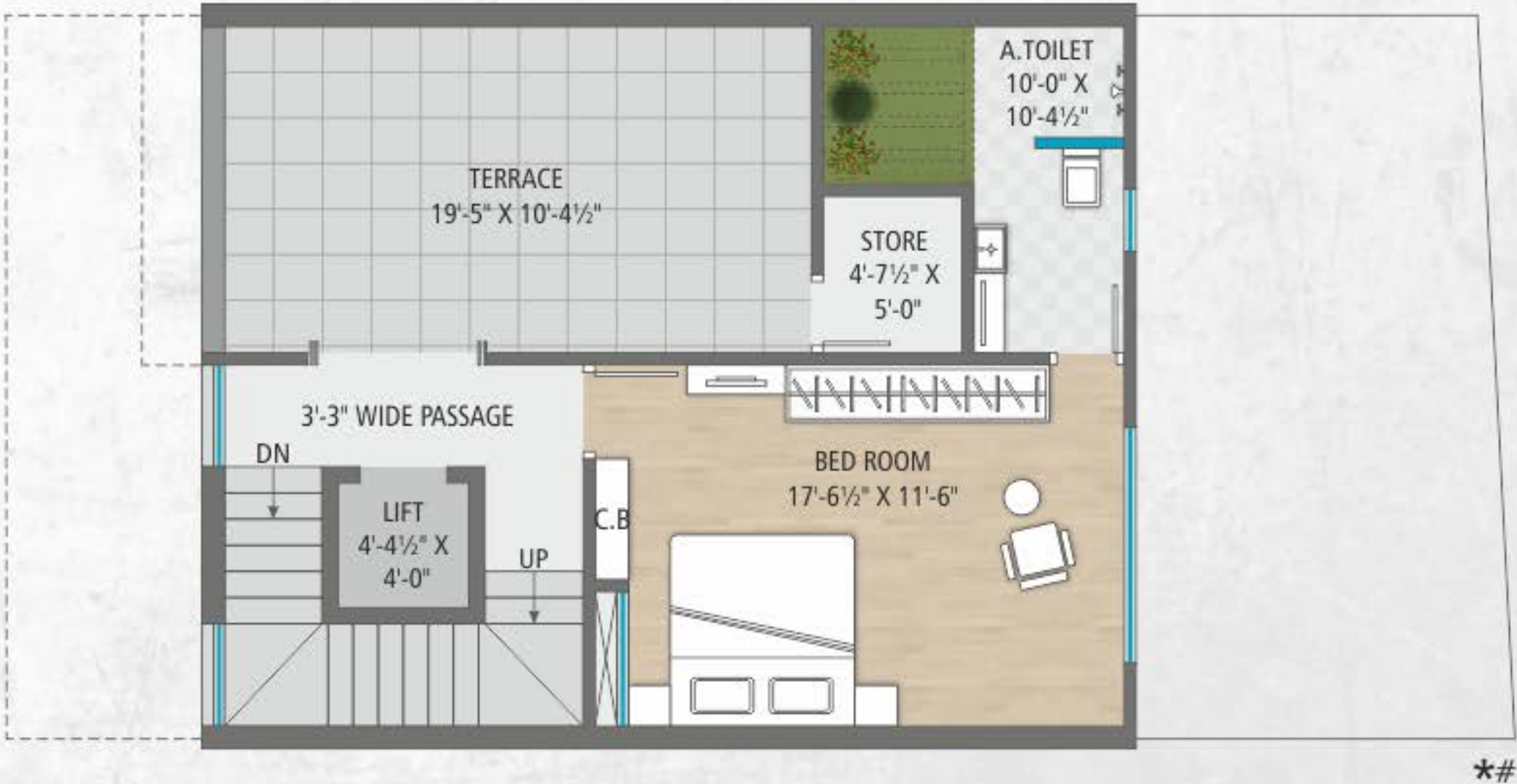
2 ND FLOOR PLAN



FIRST FLOOR PLAN



3 RD FLOOR PLAN





SPECIFICATION

FLOOR FINISH

- Good Quality Flooring in Living room, Dining, kitchen & all Bed rooms.

KITCHEN

- Granite Kitchen platform with tile up to lintel level & Good Quality of Sink.
- R.O. Point Connection.
- Gas line Connection.

WASH & UTILITY

- Kota in Flooring & Decorative tiles on dado with Adequate electrical & plumbing points.

STORE ROOM

- Kota Shelves with Satin finish Glazed tile dado up to lintel level.

PLUMBING

- Each Toilet have Decorative high quality Vitrified / Ceramic tiles.
- Concealed plumbing in toilets with designer C.P. fittings & sanitary wares of good quality.

ELECTRIFICATION

- Sufficient point with Good Quality concealed wiring.
- ISI Modular switches of Good Quality

AIR CONDITION

- Provision of 2 Split A.C. in each Bungalow.

DOORS

- Decorative Main door & Internal flush doors.

WINDOWS

- All window opening provided with Marble stone frame with Good Quality Aluminum anodized sections & Glass.

WALL FINISH

- All wall finished with Birla putty in each Bungalow.

HARDWARE

- All S.S. Hardware fitting with Good Quality.

TELEVISION, INTERNET & TELEPHONE

- Convenient Provision of Internet, Telephone & Television points.

STRUCTURE

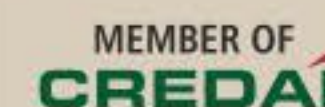
- R.C.C. Frame Structure.
- Structure Design as per code Considering Earthquake Resistance.

PARKING

- Well Planned Ample Parking space in each Bungalow.

TERRACE

- China Mosaic finished with proper Water Proofing Treatment.



SITE ADDRESS: Western Oasis, B/h. Govardhan Park Society, Nr. D'Mart, Gangeshwar Mahadev Road, T.P.-32, Adajan, Surat.

CONTACT: +91 72279 74899 | +91 98251 25344

www.thewesterngroup.in | info@thewesterngroup.in

WE REQUEST

- Stamp Duty, Registration Charges, Legal Charges, GEB / SMC Charges, Gas connection charges, & Society Maintenance Charges etc. Shall Be Borne By The Purchaser.
- VAT, Service Tax, TDS, in case of future GST & Other Taxes Levied In Future, Will Be Borne By The Purchaser.
- Any Additional Charges Or Duties By The Government / Local Authorities During Or After The Completion Of The Scheme Like SMC Tax Will Be Borne By The Purchaser.
- In The Interest Of Continual Developments In Design & Quality Of Construction, The Developer Reserves All Rights To Make Any Changes In The Scheme Including Technical Specification, Designs, Planning, Layout & All Purchasers Shall Abide By Such Changes.
- Changes / Alteration Of Any Nature Including Elevation, Exterior Color Scheme, Balcony Grill Or Any Other Changes Affecting The Overall Design Concept & Outlook Of The Scheme Are Strictly NOT PRERMITTED During Or After The Completion On The Scheme.
- Any RCC Member (Beam, Column, & Slab) Must Not Be Damaged During Your Interior Work.
- All External Laying And Drawing Of Low - Voltage Cables Such As Telephone, TV, internet Cables Shall Be Strictly Laid As Per Consultant's Service Drawings with Prior Consent of Developer / Builder Office. No Wire / Cables / Conduits Shall Be Laid Or Installed Such That They Form Hanging Formation On The Building Exterior Faces.
- This Brochure Is Intended Only For Easy Display & Information Of The Scheme And Does Not Form Part Of The Legal Documents.

NOTE:

- All rights for Alteration / Modification and development in design or specifications by architects and / or developer shall be binding to all the members.
- BUC (Building Use Certificate) as per SMC rules.
- This brochure is for private circulation only. By no means, it will form part of any legal contract.

LEGAL DISCLAIMER:

- *All furniture / objects shown in the plan or pictorial image are for presentation & understanding purpose only. By no means, it will form a part of final deliverable product.
- #All the elements, objects, treatments, materials, equipment & colour scheme shown are artisan's impression and purely for presentation purpose.
- By no means, it will form a part of the amenities, features or specification of our final products.
- Dimensions mention in building / unit plan, are wall-to-wall dimensions & it does not include finishing detail like plaster, putty & dedo tiles.
- The dimension shown in the brochure are approximate and may change slightly without causing any material adverse effect to the purchaser.
- All the architectural and interior images in the brochure are merely simulated interpretations using computer graphics to enhance the customer understanding and are not factual images.
- The colour and general appearance of the flooring and wall tiles, sanitary ware and fittings, walls, ceilings, windows, doors, internal roads, trees, shrubbery etc. shown in the simulated computer graphics images are taken from the available objects libraries for the purpose of presentation and the prospective purchasers of the property are advised to refer to the construction specifications mentioned in the brochure. Additional amenities and / or utilities not mentioned or shown in the brochure but may be required as per the law, should be deemed to be forming part of the object by the purchaser.
- Furniture including wardrobes, other soft furnishings inter alia curtains, mattresses, bed linen, upholstery etc. lights and other electrical fixtures and appliances like air conditioners, refrigerators, t.v., telephones, laptops etc. any of the equipment, household accessories inter alia crockery and cutlery, rugs, carpets, decorative pieces and wall hangings, wall papers, utensils etc. apparels and all other consumable and movable items shown in the simulated images do not form part of the sale of any property by the developer.