

Pearl

DARPANA DHIMMAR
MEMBER SECRETARY
SEIAA (GUJARAT)



Government of Gujarat

18

STATE LEVEL ENVIRONMENT
IMPACT ASSESSMENT
AUTHORITY
GUJARAT

No. SEIAA/GUJ/EC/8(a)/ 3197 /2015

Date: 24-08-2015

BY R.P.A.D
Time Limit

Sub: Environment Clearance for the Building Construction Project – "Prathna Pearl" at S.No.230, F.P.No. 56/1/1, Draft T.P.S. No. 33 (Gota), Ahmedabad City, Ahmedabad proposed by M/s Prathna Infrastructure.....Construction project in Category 8 (a) of Schedule annexed with EIA Notification dated 14/9/2006.

Dear Sir,

This has reference to your application along with Form-I, Form-1 A dated 03/02/2015, seeking Environmental Clearance under Environment Impact Assessment Notification, 2006. The project was scheduled for hearing in the SEAC meeting held on 19/05/2015.

The proposal is for Environmental Clearance for the Building Construction Project – "Prathna Pearl" at S.No.230, F.P.No. 56/1/1, Draft T.P.S. No. 33 (Gota), Ahmedabad City, Ahmedabad proposed by M/s Prathna Infrastructure. This is a new building construction project having plot area of 6,211.0 m² and the proposed built up area of 24,915.47 m². As the built up area is >20,000 m² and <1,50,000 m², it falls in the category 8(a) of the Schedule of EIA Notification, 2006.

The project will comprise of 05 building consisting of 08 blocks. The project will comprise Total 224 flats (28 Flats- 3BHK (Size 93.57 m²), 28 Flats- 3BHK (Size 96.18 m²), 56 Flats- 2BHK (Size 69.66 m²), 56 Flats- 2BHK (Size 66.56 m²) and 56 Flats- 2BHK (Size 64.73 m²) and 11 shops. Scope of the buildings will be Basement + ground floor (parking & shops)+ 7 floors. Maximum building height in the project will be 25 m.

The project activity is covered in 8(a) and falls in Category 'B'. Since the proposed project is in item no.8 of the EIA notification, 2006, it does not need Public Consultation as per Para 7(i) III. Stage (3) (d) – Public Consultation of EIA Notification, 2006.

The SEAC, Gujarat had recommended the project vide their letter dated 04.08.2015 to grant Environmental Clearance to the SEIAA, Gujarat based on the decision taken during SEAC meeting held on 19.05.2015. The proposal was considered by SEIAA, Gujarat in its meeting held on 14.08.2015 at Gandhinagar. After careful consideration, the SEIAA hereby accords Environmental Clearance to above project under the provisions of EIA Notification dated 14th September, 2006 subject to the compliance of the following conditions.

A. CONDITIONS:

A.1 CONSTRUCTION PHASE:

A.1.1 WATER:

1. Fresh water requirement during the construction phase shall be 14.75 KL/day and it shall be met through the local water tanker suppliers. No ground water shall be tapped during the construction phase.
2. Sewage generated during the construction phase shall be disposed off through the septic tank - soak pit.
3. Water demand during construction shall be reduced by use of curing agents, super plasticizers and other best construction practices.

A.1.2 AIR:

4. Peripheral barricading shall be done to prevent dust emission spreading outside the project premises.
5. Water sprinkling shall be done in vulnerable areas for controlling fugitive emission.
6. Material shall be covered during transportation to avoid the fugitive emission.
7. The roads inside the project area and roads connected to the main road shall be paved or shall be water sprinkled to avoid the fugitive emissions during construction.

8. The ambient air quality shall be monitored in and around the project area during construction phase.
9. The construction materials and debris shall be properly stored and handled to avoid negative impacts such as air pollution and public nuisances by blocking the roads and public passages.

A.1.3 SAFETY:

10. Structural design of the project shall strictly adhere to the seismic zone norms for earthquake resistant structures.
11. During construction Personal Protective Equipment shall be provided to the construction workers and its usage shall be ensured and supervised.
12. First Aid Box shall be made readily available in adequate quantity at all the times.
13. Training shall be given to all workers on construction safety aspects.
14. The project proponent shall strictly comply with the Gujarat Building and other Construction Workers Act & Rules.

A.1.4 NOISE :

15. The overall noise level in and around the project area shall be kept well within the prescribed standards by providing noise control measures including acoustic insulation, hoods, silencers, enclosures vibration dampers etc. on all sources of noise generation. The ambient noise levels shall conform to the standards prescribed under the Environment (Protection) Act and Rules.
16. The noise generating equipments, machinery and vehicles shall not be operated during the night hours and shall be maintained properly to avoid generation of high noise due to lack of wear and tear.
17. Use of diesel generator sets during construction phase shall be strictly with acoustic enclosure and shall conform to EPA Rules for air and noise emission standards.

A.2. OTHER CONDITIONS :

18. The safe disposal of wastewater and solid wastes generated during the construction phase shall be ensured.
19. The NBC norms shall be strictly adhered to.
20. Barricade of adequate height shall be provided on the periphery of the construction site with adequate signages.
21. All topsoil excavated during construction activity shall be used in horticultural / landscape development within the project site.
22. The debris generated during the construction work shall be re-used in filling and resurfacing of the area and recyclable scrap shall be sold to vendors.
23. Vehicles hired for bringing construction material at site shall be in good conditions and conform to applicable air and noise emission standards and shall be operated only during day time and non-peak hours.
24. Project proponent shall ensure use of eco-friendly building materials including fly ash bricks, fly ash paving blocks and Ready mix concrete [RMC] in the project.
25. Necessary sanitary, hygiene and first aid measures shall be provided before starting the construction activities, and to be maintained throughout the construction phase.
26. Adequate accommodation, drinking water, sanitary facilities, first aid center, utensils and cooking fuel shall be provided for construction workers at the site.
27. Adequate care shall be taken to see that the surrounding landscape at the project site is not environmentally degraded.
28. Fly ash shall be used in the construction wherever applicable as per provisions of Fly Ash Notification under the E.P. Act, 1986.
29. Used cement bags, waste paper and cardboard packing material shall be sold off to recyclers. Residual steel scrap shall be collected at site and sold to recyclers.
30. Only lead free paints shall be used in the project.

A.3 OPERATION PHASE:

A.3.1 WATER

31. Water requirement during the operation phase shall be 141.61 KL/day and it shall be met through water supply system of Ahmedabad Municipal Corporation (AMC). No ground water shall be tapped during the operation phase. Metering of the water shall be done and its records shall be maintained.
32. No bore well shall be constructed and existing bore well/s, if any, shall be either sealed or converted into the recharge well.
33. Low water consuming devices shall be provided. Fixtures for showers, toilet, flushing and drinking shall be of low flow either by use of aerators/ diffusers or pressure reducing devices etc.
34. Sewage generation during the operational phase shall be 11.05 KL/day and it shall be discharged through the drainage system of Ahmedabad Municipal Corporation.
35. Rain water harvesting from rooftop and paved areas and ground water recharge through 2 nos. of percolation wells shall be carried out as per the details submitted. Before recharging the run off, pre-treatment must be done to remove suspended matter.

60. Traffic congestion near the entry and exit points from the roads adjoining the proposed project site shall be avoided.
61. No public space including the service road shall be used or blocked for the parking.

A 3.7 ENERGY CONSERVATION:

62. Energy conservation measures like maximum use of natural lighting through architectural design, energy efficient motors & pumps, water efficient taps, maximum use of RMC & aerated blocks, use of LED lighting fixtures and low voltage lighting, solar lighting in open and landscape areas- 8 numbers of solar lighting, roof-top thermal insulation etc. shall be implemented as proposed.
63. The project proponent shall install energy efficient devices, appliances, motors and pumps conforming to the Bureau of Energy Efficiency norms.
64. The transformers and motors shall have minimum efficiency of 85 %.
65. Only variable frequency motor drives shall be used in the project.
66. Solar lights shall be provided in the open sunlit areas.
67. Use of glass shall be minimal to reduce the heat island effect as well as to reduce the electricity consumption.

A 3.8 GREEN BELT :

68. Green belt area of 621.51 m² comprising of tree covered area of 200.0 m² with 94 nos. of trees shall be developed as proposed. The other open spaces inside the plot shall be suitably landscaped and covered with vegetation of indigenous tree species.
69. The area earmarked as green area shall be used only for greenbelt and shall not be altered for any other purpose.
70. Drip irrigation / low-volume, low-angle sprinkler system shall be used for the lawns and other green area including tree plantation.

B: OTHER CONDITIONS :

71. All the statutory clearances such as the approvals for storage of diesel from Chief Controller of Explosives, Fire Department, Airports Authority of India etc., if applicable, shall be obtained by the project proponent from the competent authorities.
72. The project proponent shall strictly comply with the Gujarat Building and other Construction Workers Act & Rules as well as Gujarat Lifts & Escalators Rules.
73. The project proponent shall ensure maximum employment to the local people.
74. The project management shall also comply with all the environment protection measures, risk mitigation measures and safeguards proposed by them.
75. The project proponent shall also comply with any additional condition that may be imposed by the SEAC or the SEIAA or any other competent authority for the purpose of the environmental protection and management.
76. No further expansion or modifications in the project likely to cause environmental impacts shall be carried out without obtaining prior Environment Clearance from the concerned authority.
77. The above conditions will be enforced, inter-alia under the provisions of the Water (Prevention & Control of Pollution) Act, 1974, Air (Prevention & Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and Hazardous Waste (Management Handling and Transboundary) Rules, 2008 along with their amendments and rules.
78. The project authorities shall earmark adequate funds to implement the conditions stipulated by SEIAA as well as GPCB along with the implementation schedule for all the conditions stipulated herein. The funds so provided shall not be diverted for any other purpose.
79. The applicant shall inform the public that the project has been accorded environmental clearance by the SEIAA and that the copies of the clearance letter are available with the GPCB and may also be seen at the Website of SEIAA/ SEAC/ GPCB. This shall be advertised within seven days from the date of the clearance letter, in at least two local newspapers that are widely circulated in the region, one of which shall be in the Gujarati language and the other in English. A copy each of the same shall be forwarded to the concerned Regional Office of the Ministry.
80. It shall be mandatory for the project management to submit half-yearly compliance report in respect of the stipulated prior environmental clearance terms and conditions in hard and soft copies to the regulatory authority concerned, on 1st June and 1st December of each calendar year.
81. The project authorities shall also adhere to the stipulations made by the Gujarat Pollution Control Board.
82. The project authorities shall inform the GPCB, Regional Office of MoEF and SEIAA about the date of financial closure and final approval of the project by the concerned authorities and the date of start of the project.
83. The SEIAA may revoke or suspend the clearance, if implementation of any of the above conditions is not found satisfactory.

36. A water meter shall be installed on rain water harvesting & ground water recharge well system & compliance report of the same shall be submitted to concerned authorities.

A.3.2 AIR:

37. A D. G. Set (62.5 KVA) proposed as back up power shall be of enclosed type and confirm to prescribe standards under EPA rules. Necessary acoustic enclosures shall be provided at diesel generator set to mitigate the impact of noise.
38. The exhaust of the D. G. Set shall be at least 3 m above roof top.
39. The gaseous emissions from the D.G. Sets shall conform to the standards prescribed by GPCB. At no time, the emission levels shall go beyond the stipulated standards.

A.3.3 SOLID WASTE:

40. The solid waste generated shall be properly collected and segregated at source. The recyclable material shall be sold to vendors whereas other garbage shall be disposed off properly as per the provisions made by the AMC.
41. Used oil shall be sold only to the registered recycler.
42. The project must strictly comply with the rules and regulations with regards to handing and disposal of Hazardous waste in accordance with the Hazardous Waste (Management, Handling and Transboundary) Rules 2008. Authorization from the GPCB must be obtained for collection / treatment /storage /disposal of hazardous wastes.

A.3.4 SAFETY:

43. The planning, design and construction of all buildings shall be such as to ensure safety from fire.
44. Fire fighting facilities like fire extinguishers, hose reel, down corner, manually operated electric fire alarm system, automatic sprinkler system in basement, underground static water storage tank-200 KL capacity, terrace tank - 80 KL capacity (total capacity), etc. shall be provided as proposed.
45. Compulsory Training to the staff for the first aid and fire fighting along with regular mock drill shall be made as an integral part of the emergency management plan of the project.
46. Underground fire water storage tanks and terrace water storage tanks of adequate capacity shall be provided as proposed. Adequate provision shall be made to ensure that water from the Fire Water Tank shall not be used for any other purpose.
47. Dedicated power back up system shall be provided in the case of power failure & emergency of fire water pumps.
48. First Aid Boxes shall be made readily available in adequate quantity at all the times.
49. Main entry and exit shall be separate and clearly marked in the facility.
50. Necessary emergency lighting system along with emergency power back up system shall be provided. Further, necessary auto glow signage at all appropriate places shall be provided to guide the people towards exits and assembly points during emergency.
51. All the staircases and lifts shall open out at ground level from the highest point of building [with access from each floor] for emergency evacuation. Two staircases shall be provided in each building having floor area more than 500 m² on each floor.
52. Sufficient peripheral open passage shall be kept in the margin area for free movement of fire tender/ emergency vehicle around the premises.
53. In basement at least two separate ramps of adequate width and slope shall be provided, located preferably at opposite ends.
54. Provision for adequate air changes per hour in the basement shall be made so as to avoid build up of CO in the area.
55. Car park exhaust system equipped with CO (Carbon Monoxide) sensor shall be provided to ensure operation of exhaust fans as CO concentration levels.

A.3.5 NOISE:

56. The acoustic enclosures shall be installed at all noise generating equipments such as DG set etc to mitigate the impact of noise.
57. The overall noise level in and around the project area shall be kept well within the prescribed standards by providing noise control measures including acoustic insulation, hoods, silencers, enclosures vibration dampers etc. on all sources of noise generation. The ambient noise levels shall conform to the standards prescribed under the Environment (Protection) Act and Rules.

A.3.6 PARKING / TRAFFIC CONGESTION:

58. Parking space of 6,871.84 m² [3,512.58 m² in basement + 2,339.26 m² in hollow plinth + 1,020.0 m² as open surface parking] shall be provided as proposed.
59. The area earmarked for the parking shall be used for parking only. No other activity shall be permitted in this area.

84. This environmental clearance is valid for seven years from the date of issue.
85. Any appeal against this environmental clearance shall lie with the National Green Tribunal, if preferred, within a period of 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.

With regards,
Yours sincerely,



(DARPANA DHIMMAR)
Member Secretary

Issued to:

Mr. Jagdishbhai Thakkar (Director)

"Prathna Pearl",

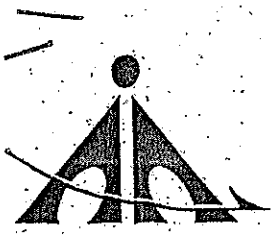
✓ 37, Devpriya Bungalows Part 2,
Nr. Anandnagar Cross Road,
Satellite, Ahmedabad.

Copy to:-

1. The Secretary, SEAC, C/O. G.P.C.B. Gandhinagar - 382010.
2. The Chairman, Central Pollution Control Board, Paryavesh Bhavan, CBD -cum-Office Complex, East Arjun Nagar, New Delhi-110032
3. The Chief Conservator of Forests (Central), Ministry of Environment & Forests, Regional Office (WZ), E-5, Arera Colony, Link Road-3, Bhopal-462016, MP
4. Monitoring Cell, Ministry of Environment and Forests, Paryavaran Bhavan, CGO Complex, New Delhi-110003.
5. The Member Secretary, Gujarat Pollution Control Board, Paryavaran Bhavan, Sector-10 A, Gandhinagar-382010
6. Select File



(DARPANA DHIMMAR)
Member Secretary



पेनल

भारतीय विमानपत्तन प्राधिकरण AIRPORTS AUTHORITY OF INDIA

संदर्भ संख्या: एएआई/एएच/एटीसीओ-61/ 14453-58

दूतगामी डाक
दिनांक: 28-07-2015

सेवा में,

श्री जगदीशभाई ठक्कर,
7/32, विष्णु कॉलोनी, स्वामीनारायण मंदिर के सामने,
विराट नगर, ओढ़व, अहमदाबाद-50

विषय: अनापत्ति प्रमाणपत्र जारी करने हेतु, NOC ID: AHME/WEST/B/070315/142679, AH1165/2015
महोदय,

Please refer to your NOC application on the subject mentioned above. The NOC letter for NOC ID: AHME/WEST/B/070315/142679, AH1165/2015 is enclosed.

सधन्यवाद

भवदीय

(तिपन नायक)

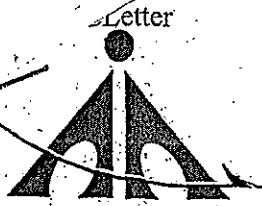
वरिष्ठ प्रबंधक (वा.या.नि. - एन.ओ. सी)
एवं सदस्य सचिव (एन.ओ. सी. सी)
कृते विमानपत्तन निदेशक

प्रतिलिपि:- (सूचनार्थ)

1. कार्यपालक निदेशक (वा.या.नि), भारतीय विमानपत्तन प्राधिकरण, राजीव गांधी भवन, सफदरजंग हवाई अड्डा, नई दिल्ली-110003
2. महाप्रबंधक (विमानक्षेत्र), प.क्षे. मुख्यालय, भारतीय विमानपत्तन प्राधिकरण, नया एटीएस कॉम्प्लेक्स, सुतार पाकड़ी रोड, सहार कार्गो कॉम्प्लेक्स के नजदीक, सहार, मुंबई-99
3. प्रधान टाऊन प्लानर, अहमदाबाद शहरी विकास सत्तामंडल (AUDA), सरदार वल्लभभाई पटेल भवन, उस्मानपुरा क्रॉस रोड, आश्रम रोड, अहमदाबाद ।
4. गार्ड फाईल
5. विमानपत्तन निदेशक के निजी सचिव।

(तिपन नायक)

वरिष्ठ प्रबंधक (वा.या.नि. - एन.ओ. सी)
एवं सदस्य सचिव (एन.ओ. सी. सी)
कृते विमानपत्तन निदेशक



भारतीय विमानपत्तन प्राधिकरण AIRPORTS AUTHORITY OF INDIA

No. AAI/AH/ATCO-61/		Date: 28/7/2015
Jagdishbhai H Thakkar		
7/32, Vishnu Colony, Opp. Swaminarayan Temple, Virat Nagar Road, Odhav,		
NO Objection Certificate for Height Clearance		
This NOC is issued by Airports Authority of India (AAI) in pursuance of responsibility conferred by and as per the provisions of Govt. of India (Ministry of Civil Aviation) order SO84 (E) dated 14th Jan. 2010 for Safe and Regular Aircraft Operations.		
1. References:		
NOCID	AHME/WEST/B/070315/142679	
Applicant Letter	NIL DATED 06.07.2015	
AAI Reference	AH1165/2015.	
2. NOC Details for Height Clearance:		
Applicant Name	Jagdishbhai H Thakkar	
Type of Structure	Building	
Site Address	moje-gota, servy no-230/2/1, T.P.S.no-33, F.P.No-56/1/1 Moje-Gota, Taulka- city West, Ahmedabad	
Site Coordinates	23.05 45.51N -72 32 57.64E 23.05 47.16N -72 32 57.01E 23 05 46.39N -72 32 59.28E 23 05 43.87N -72 32 58.28E 23 05 44.62N -72 32 56.01E	
Site Elevation AMSL in Mtrs	60.437Mtrs SIX ZERO DECIMAL FOUR THREE SEVEN METERS.	
Permissible height above Ground Level in Mtrs	31.54 Mtrs THREE ONE DECIMAL FIVE FOUR METERS.	
Permissible Top Elevation AMSL in Mtrs	91.977 Mtrs NINE ONE DECIMAL NINE SEVEN SEVEN METERS.	

3. This NOC is subject to the terms and conditions as given below:

- The site-elevation and site coordinates provided by the applicant are taken for calculation of the permissible top elevation for the proposed structure. If, however, at any stage it is established that the actual data is different from the one, provided by the applicant, this NOC will be invalid.
- The issue of the 'NOC' is further subject to the provisions of Section 9-A of the Indian Aircraft Act, 1934 and those of any notifications issued there under from time to time including the Aircraft (Demolition of Obstruction caused by buildings and trees etc.) Rules, 1994.
- No radio/TV Antenna, lighting arresters, staircase, Mumtee, Overhead water tank and attachments of fixtures of any kind shall project above the Permissible Top Elevation 91.977 Mtrs, indicated in para 2.
- The use of oil fired or electric fired furnace is mandatory; within 8 KM of the Aerodrome Reference Point
- The certificate is valid for a period of 5 years from the date of its issue. If the

<http://nocas.aai.aero/NOCLetterForBuilding2.aspx?nocID=AHME/WEST/B/070315/14...> 28-07-2015

building/structure/Chimney is not constructed & completed within the period, the applicant will be required to obtain a fresh 'NOC' from the Designated Officer of Airports Authority of India. The date of completion of Building/Structure/Chimney should be intimated to this office of AAI. Request for revalidation of NOC will not be entertained after the expiry of its validity period.

f. No light or a combination of lights which by reason of its intensity, configuration or colour may cause confusion with the aeronautical ground lights of the Airport shall be installed at the site at any time, during or after the construction of the building.

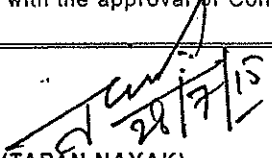
g. The applicant will not complain/claim compensation against aircraft noise, vibrations, damages etc. caused by aircraft operations at or in the vicinity of the airport.

h. Day markings & night lighting with secondary power supply shall be provided as per the guidelines specified in chapter 6 and appendix 6 of Civil Aviation Requirement Series 'B' Part I Section 4, available on DGCA India website: www.dgca.nic.in

i. The applicant is responsible to obtain all other statutory clearances from the concerned authorities including the approval of building plans as this NOC for height is for the purpose of 'to ensure the safe and regular aircraft operations' and shall not be used as document for any other purpose/claim whatsoever, including ownership of land etc

j. This NOC has been issued w.r.t. the Civil Airports as notified in S0 84(E). Applicant needs to seek separate NOC from Defence, if the site lies within jurisdiction of Defence Airport.

This certificate is issued for "HEIGHT CLEARANCE ONLY" with the approval of Competent Authority for Permissible Top Elevation 91.977 Mtrs.


(TAPAN NAYAK)
Sr. Manager (ATM-NOC)
Member Secretary NOCC
Airports Authority Of India

Copy to :

1. The Executive Director(ATM), AAI, Rajiv Gandhi Bhavan, Safdarjung Airport, New Delhi-110003

2. GM(NOC)/Airport Director(Bundle).

3. Guard File

4. GM (Aero),WR, AAI, New ATS Complex, Sutar Pakadi Road, Near Sahar Cargo Complex, Sahar, Mumbai-99.

5. Town Development Officer, AMC, Mahanagar Sewa Sadan, Third Floor, Sardar Patel Bhawan, Danapith, Ahmedabad-380001.

NOCC/ATM/13/14/15

To,

Vinubhai Ramdas Prajapati

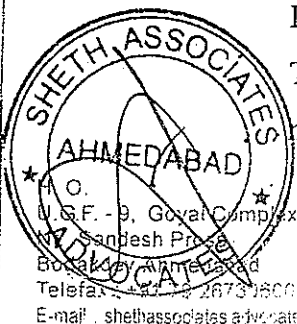
Address : 120 K.K. Nagar Vibhag - 2,
 Ramnapark, Ghatlodiya, Ahmedabad.

AND OTHERS

Re :- Opinion in the matter of Title for Non Agricultural land (As per village form no. 7 & 12) bearing Survey Number. 230/2/2 admeasuring about 9484 sq. mtrs. included in T.P. Scheme No. 33 (Gota) and given F. P. No. 56/1/2 admeasuring about 5690 sq. mtrs. situated, lying and being at Mouje-Gota, Taluka- Ahmedabad City-West, (Old Taluka : Dascroi) Dist - Ahmedabad in the state of Gujarat belonging to You.

THIS IS TO OPINE THAT, we have caused investigation of titles of the land described in the schedule hereunder for last about Thirty years from the certain papers of the said Land produced before us by the concerned party and in reference of it, we have issued a public notice in daily Gujarati news paper (1) "Divya Bhaskar" on 19-03-2014 and (2) "Gujarat Samachar" on 20-03-2014 and invited any claims, rights or objection of any type of any person, institute etc from public at large but we have not received any objection from any one which carry weightage in the said matter as well as the concerned party made a declaration on 01/07/2014 for their clear right, title over the property/land in question mean it trustworthy. We certify that the land described in the schedule hereunder prima facie belongs to you subject to...

- (1) Fulfillment of The Provision of The Bombay Tenancy and Agricultural Lands Act, The Bombay Fragmentation and consolidation of holdings act, Town Planning act, stamp act, registration act or any other act, rule / notification, gazette etc, which may apply.



B.O.
 F.F. 2 & 3 "Vaikunth"
 Nr. Raspari Party Plot,
 Nikol-Naroda Road, Nikol, Ahmedabad
 Pin - 380 015 (G) +91 92280 04197
 E-mail: shethassociatesadvocatesnikol@yahoo.in

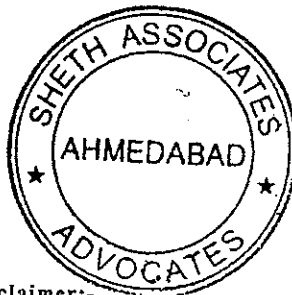
B.O.
 Opp. Swaminarayan Mandir,
 At Po.&Ta. Prantij,
 Dist. Sabarkantha
 Tele +91 2770 231323
 M +91 99798 84197

- (2) Detail Report on title is required to be studied.
- (3) Fulfillment of all the terms and conditions mentioned in the orders issued for the scheduled land and in any concerned case including non agricultural use permission.
- (4) Production of all relevant and necessary original papers, documents, orders, deeds etc of the said land

SCHEDULE ABOVE REFERRED TO

All that piece or parcel of Non Agricultural land (As per village form no. 7 & 12) bearing Survey Number. 230/2/2 admeasuring about 9484 sq. mtrs. included in T.P. Scheme No. 33 (Gota) and given F. P. No. 56/1/2 admeasuring about 5690 sq. mtrs. situated, lying and being at Mouje-Gota, Taluka- Ahmedabad City-West, (Old Taluka : Dascroi) Dist - Ahmedabad in the state of Gujarat..

AT AHMEDABAD DATED THIS 1st DAY OF JULY 2014



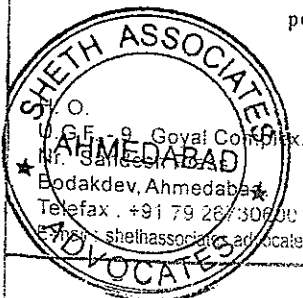
For, Sheth Associates, Advocates



Maulik S. Sheth (Advocate)

Note of caution and disclaimer:-

- (1) That the computerized record of sub registrar is not well prepared / maintained / recorded by the agency which is appointed by the State Government and hence may be erroneous, resulting into our / my error.
- (2) The Record of the Sub-Registrar and some past record is illegible or destroyed or not visible for some years.
- (3) In case.... if any deed(s) / writing(s) etc. executed through power of attorney holder then consent deed / letter is required to be taken from the person(s) who have given power of attorney i.e. from original owner.
- (4) We have issued this report to only to you no other shall rely on this without our written permission.



B.O.
F.F. 2 & 3, "Vaikunth"
Nr Raspan Party Plot.
Nikol-Naroda Road, Nikol, Ahmedabad
M. + 91 99798 84197. (C) +91 92280 04197
E-mail shethassociatesadvocatesnikol@yahoo.in

B.O.
Opp. Swaminarayan Mandir,
At Po.&Ta Prantij,
Dist Sabarkantha
Tele + 91 2770 231323
M + 91 99798 84197

LAND-2 / એન.એ/એસ.આર- 1,058 / 2013

જીલ્લા કલેક્ટરની કચેરી
સુભાષબ્રીજ સર્કલ, અમદાવાદ
તારીખ : 28/01/2014

આ મુખ :

૧. સીટી (પશ્ચિમ) મામલતદારશ્રીના પત્ર નં જમન/વર્ષ NA/SR. - 156/12 તા. 19/07/2012
૨. જમીન મહેસૂલ અધિનિયમની કલમ-૬૫, ૬૬, ૬૭ ના અધિકારો તથા નિયમોના નિયમ-૧૦૦
૩. કબજેદારની તારીખ : 13/12/2013 ની અરજી તથા જવાબ.

હુ ક મ

એપેન્ડિક્સ-એ, માં દર્શાવેલ જમીનના કબજેદાર ધ્વારા આમુખ-(૩) વાળી અરજી અન્વયે બીનખેતીના હેતુ માટે ઉપયોગ કરવા નીચે દર્શાવેલ તેઓની માલિકીની જમીનની બીનખેતી માટેની પરવાનગીની માંગણી કરેલ છે. કબજેદારની રજૂઆત મુજબ તથા કામના કાગળોમાં રેકર્ડ ઉપર અરજદારનું નામ કબજેદાર તરીકે ચાલે છે તથા શહેરી જમીન ટોચ મર્યાદા કાયદા અન્વયે પ્રશ્નવાળી જમીન ફાજલ થયેલ નથી કે સરકાર પક્ષે કબજો લેવાયેલ નથી તેમ કાગળો ઉપરથી ફલિત થાય છે. જે અંગે આમુખ-(૧) માં દર્શાવ્યા મુજબ સંબંધિત મામલતદારશ્રીનો હકારાત્મક અભિપ્રાય મળેલ છે. અરજદાર જે બાંધકામ કરવા માંગે છે તેના સુચિત પ્લાનની નકલ રજૂ થયેલ છે.

એપેન્ડિક્સ-એ (જમીનની વિગત)

ઠરાવેલ વિશેષ ધારો :

Rs. 3395 /-

મોજા : ગોલા

તાલુકો : સીટી (પશ્ચિમ)

ક્ષેત્રફળ : 11901.00 Sq.Mts.

સર્વે નંબર : 230/2

ટી.પી. 33

ફા.પ્લોટ નં. 56/1

સ.પ્લોટ નં.

બીનખેતી હેતુ :

રહેણાંક 10701.00 Sq.Mts.

વાણિજ્ય 1200.00 Sq.Mts.

એપેન્ડિક્સ-બી (કરવેરાની વિગત)

(૧) રૂપાતર કરની રકમ Rs.143010 /- ચલન નંબર:- 22/14 તારીખ :- 15/01/2014

(૨) વિશેષ ધારો Rs. 3395 /- પહોંચ નંબર:- 56 તારીખ :- 16/01/2014

(૪) લોકલ ફંડ : Rs. 1698 /- પહોંચ નંબર:- 37.39 તારીખ :- 16/01/2014

(૫) શિક્ષણ ઉપકર : Rs. 849 /- પહોંચ નંબર:- 40 તારીખ :- 16/01/2014

એપેન્ડીક્ષ-એ, માં દર્શાવેલ જમીન સ્થળે ખુલ્લી છે. તથા અન્યથો અન્ય મુજબ કોઈ પણ કારણે નહીં બંધ કરવામાં આવેલ છે. જેથી કબજેદારની માંગણી તથા ઉપર મુજબની હકીકત, નોંધેલી કબજેદારની માંગણી અધિનિયમની કલમ-૬૫ હેઠળ, એપેન્ડીક્ષ-એ, માં દર્શાવેલ કોન્ટ્રેક્ટ વાળી જમીન પર કબજો કરવામાં આવેલ છે.

શરતો :-

- આ પરવાનગી સ્થાનિક સત્તા મંડળ દ્વારા મંજૂર કરવામાં આવતાં નકશા તેમજ વિકાસ પરવાનગીની શરતોના અમલીકરણને આધીન રહેશે. વધુમાં વિકાસ પરવાનગી અન્વયે કરવામાં આવતો વિકાસ અને તેનો વપરાશ વિકાસ યોજનાના નિયંત્રણ વિનિમયો તેમજ ઓડા / મ્યુનિ. કોર્પોરેશન અને રાજ્ય સરકાર દ્વારા આપવામાં આવતાં વખતો વખતના આદેશ / નિર્દેશનોને આધીન રહેશે. જમીનના માલિક/કબજેદારોએ પરવાનગી હેઠળની જમીનનો વિકાસ સંબંધિત સત્તા મંડળની વિકાસ પરવાનગીને આધીન રહીને જ કરવાનો રહેશે.
- વરસાદી પાણીના નિકાલ માટે પરકોલેટીંગ વેલની વ્યવસ્થા કરવાની રહેશે. તથા બાંધકામમાં ઉપયોગમાં લેવાની ઈંટોના કુલ રકમ જથ્થાના ૭૫% , ફ્લાય એશ બ્રીક્સ નો ઉપયોગ કરવાનો રહેશે.
- એપેન્ડીક્ષ-એ, માં દર્શાવેલ બીનખેતી હેતુ તેમજ કોન્ટ્રેક્ટ મુજબ એપેન્ડીક્ષ-બી મુજબ કરવેરા વસુલ લેવામાં આવેલ છે. તે સિવાય બાંધકામનો અન્ય હેતુ માટે ઉપયોગ થઈ શકશે નહીં.
- આ પરવાનગી હેઠળની જમીનનો ઠરાવેલ વિશેષધારો, અન્યથી ફેરફાર કરવામાં ન આવે ત્યાં સુધી દર વર્ષે પહેલી ઓગસ્ટ થી નિયત થયેલ મહેસુલી વર્ષથી ભરવાનો રહેશે. ઉપરાંત કબજેદારે તે ઉપર નકકી થતો લોકલ ફંડ, શિક્ષણ ઉપકર, તથા અન્ય કરવેરા પણ દર વર્ષે ચૂકવવાના રહેશે. વિશેષધારો અમદાવાદ શહેરી વિસ્તાર પૂરતો સુપ્રિમ કોર્ટમાં આ બાબતનો નિકાલ આવ્યેથી તે ચૂકાદાને આધીન રહીને ભરવાનો રહેશે. પરંતુ બીનખેતીનો ઉપયોગ શરૂ કરવામાં ન આવે ત્યાં સુધી ઉક્ત ઠરાવેલ વિશેષધારો દર વર્ષે ભગશા દરે ભરવાનો રહેશે.
- આ પરવાનગીની તારીખથી દિન-૩૦ માં ડીસ્ટ્રીક્ટ ઈન્સપેક્ટરશ્રી, લેન્ડ રેકર્ડઝ મારફતે માપણી કરાવવાની રહેશે, જે માપણી મુજબ સાઈટ પ્લાનની નકલી અલગ રજૂ કરવાની રહેશે. તથા કોન્ટ્રેક્ટની વધઘટ મુજબનો વિશેષધારો તેમજ અન્ય ઉપકરો કબજેદારે ભરવાના રહેશે.
- જમીનની તબદીલી, ફેરફાર તથા જમીન અંગેના અન્ય તમામ આનુસંગિક કાયદાઓને આધીન રહીને આ પરવાનગી આપવામાં આવેલ છે. જેથી અન્ય કોઈ કાયદા હેઠળ મેળવવાની થતી જરૂરી પરવાનગીઓ મેળવી લેવાની રહેશે.
- સવાલવાળી જમીનમાંથી ઈલેક્ટ્રીક લાઈન, કે ટેલીફોન લાઈન પસાર થતી હશે તો, આવી લાઈન કે તેના થાંભલા ભવિષ્યમાં નાંખવાના થશે તો તે અંગે કોઈ વળતર મેળવવા હકકદાવો થઈ શકશે નહીં.
- આ પરવાનગીની તારીખથી ૬ (છ) માસમાં બાંધકામ શરૂ કરી ત્રણ વર્ષમાં બાંધકામ પુરું કરવાનું રહેશે.
- બાંધકામનો ઉપયોગ શરૂ કરતા પહેલાં બી. યુ. પરમીશન મેળવી લેવાની રહેશે.
- આ હુકમમાં અગર સનંદમાં કોઈ કારકુની અથવા ગણતરીની ભૂલ હશે તો, તેમાં સુધારો થઈ શકશે.
- આ પરવાનગીની તારીખ પછી નમુના-એમ માં સનંદ તૈયાર થયેથી, તથા અપીલ સમય પૂરો થયેથી અરજદારે સનંદ ભરાવી લેવાની રહેશે.

૧૨. અરકારશ્રીના મહેસુલ વિભાગના તા. ૧/૭/૨૦૦૮ ના ઠરાવ ક્રમાંક: બખપ/૧૦૦૬/૪૨૫/ક, ના પરિશિષ્ટ-૪ માં ઉલ્લેખેલ તમામ શરતોનું ચુસ્તપણે પાલન કરવાનું રહેશે.

૧૩. આ પરવાનગી અરજદારે રજુ કરેલ વિગતોને આધારે આપવામાં આવેલ છે. રજુ થયેલ કોઈ વિગત ખોટી હોવાનું જાહેર થયેથી કે કમરનો કોઈપણ શરતોના ભંગ થયેથી આ પરવાનગી આપોઆપ રદ થયેલી ગણાશે તથા જમીન મહેસુલ કાયદા અન્વયે જરૂરી તકનીકી પગલાં લેવાને પાત્ર રહેશે. અને તત્કાલિન અમલમાં હોય તેવા બીજા કોઈપણ કાયદાની જોગવાઈઓના બાધ વિના કમરનો પીનલ કોડ બદલ કબજાદારો કોજદારી ગુન્જા માટે શિક્ષાત્મક પગલાં લેવાને પાત્ર બનશે. તથા જમીન મહેસુલ કાયદાની કલમ-૬૬ તથા નિયમોના નિયમ-૧૦૦ અનુસાર યોગ્ય તે દંડાત્મક કાર્યવાહી કરવામાં આવશે અને બાંધકામ દુર કરાવવા સહિતના એક કે વધુ પગલાં લેવામાં આવશે.

રવાના કરવા માટે પ્રમાણીત,

ચીટનીસ ટુ કલેક્ટર, અમદાવાદ.



સહી/-

(રૂપવંત સિંહ)

કલેક્ટર, અમદાવાદ

પ્રતિ,

વિનુભાઈ રામદાસ પ્રજાપતિ વિગેરે
કે.કે.નગર વિભાગ - ૨,
એમ.આઈ.જી. નં. 100, ઘાટલોડીયા,

અમદાવાદ.

નકલ રવાના :

૧. મામલતદારશ્રી, સીટી (પશ્ચિમ) તરફ
ર/- આગળની જરૂરી કાર્યવાહી તથા સનંદ ભરાવવા અંગે ઘટતી કાર્યવાહી હાથ ધરવા સારું.
૨. તલાટીશ્રી ગોતા તરફ આગળની કાર્યવાહી તથા ગામ નમુના નં. ૨, માં જરૂરી નોંધ કરવા સારું.
૩. ડીરેક્ટર ઈન્સપેક્ટરશ્રી, લેન્ડ રેકર્ડ્ઝ, મોજણી ભવન, ભીમજીપુરા, નવા વાડજ, અમદાવાદ
૪. મ્યુનિસિપલ કમિશનરશ્રી (એસ્ટેટ) દાગાપીઠ, અમદાવાદ/ મુખ્ય કારોબારી અધિકારીશ્રી, ઔડા, ઉસ્માનપુરા, અમદાવાદ
૫. જન સેવા કેન્દ્ર તરફ, અરજી નં. 37664 અન્વયે જાણ તથા અપડેશન કરવા સારું.
૬. સિલેક્ટ ફાઈલ.

ગામ નમુનો નંબર ૬ - ફક પત્રક

જીલ્લો: અમદાવાદ

તાલુકો: ઘાટલોડીયા

મોજો: ગોતા

નોંધ નં : તારીખ : ફેરફાર નો પ્રકાર:	નોંધની વિગત	ફેરફારને સંબંધિત સરવે/બ્લોક નંબર અને પેટા ફિસ્સો તથા તેનો ખાતા નંબર	અગાઉની નામજુર નોંધનો ક્રમાંક/તારીખ	તપાસણી કરનાર અધિકારી નો ફોટો અને સહી/તારીખ તથા નામ/ ફોનો
૩૪૫૦ ૨૭/૦૪/૨૦૦૬ વેચાણ	ખેતી ની જમીન નુ રજીસ્ટર દસ્તાવેજ થી વેચાણ ખરીદનાર:- (૧).બબાભાઈ શીવરામ પ્રજાપતિપ્રજાપતિ (૨).છગનભાઈ શીવરામ પ્રજાપતિ (૩).બાબુભાઈ મફતલાલ પ્રજાપતિ (૪) અમૃતભાઈ મફતલાલ પ્રજાપતિ વેચનાર:- (૧).કાશીબેન તે મેગળદાસશીવરામ પ્રજાપતિ(૨)સુરેન્દ્રભાઈ મંગળદાસ પ્રજાપતિ (૩) (અમૃતભાઈ મંગળદાસ પ્રજાપતિસરવે/બ્લોક નંબર- ૨૩૦૫૬૬૨૨-૦-૩૩-૩૬વાળીજમીન રજીસ્ટરદસ્તાવેજ નંબર- ૩૨૦૬ તારીખ- ૨૧/૪/૨૦૦૫ થીરુપીયા ૭૫૦૦૦અંકે રુપીયા પંદોતેર હજાર પુરામા વેચાણઆપતાખરીદનાર તરફથીઆધારોત્તેમજ અરજીતથા રજીસ્ટરદસ્તાવેજ નીપ્રમાણીત નકલ રજુ કરતા ખરીદનાર નાનામેનામફેરફારવાનોંધલીધી.	૨૩૦ પૈકી (૨૯૮),		પ્રમાણિત વે.રા સર્વે નં ૨૩૦૫ ની ગોતા ગામે ખેતીની જમીન ધરાવતા હોય કાગળો થી ખાત્રી કરી પ્રમાણિત સહી/-ડી.જી મોદી ના.મા (મે) ૬૩કોઈ તા. ૧૩-૬-૦૬



૧/૦૫/૨૦૧૨ ૦૫:૫૭pm ની સ્થિતિએ

રેસાઈવની નકલ/ Chargeable Copy અંકે રૂ. ૫/- (રૂપીયા પાંચ પુરા) મળેલ છે, આભાર સહ. પ્લોટ તા. ૨૭/૦૫/૨૦૧૫ ૧૦:૪૪:૫૫

ફોન નં : ૦૭૯૫૧ સૂચના-વિશ્વાન કેન્સ. ગુજરાત રાજ્ય નકલ આપનાર કચેરી : મામલતદાર કચેરી,અમદાવાદ સીટી (પશ્ચિમ)